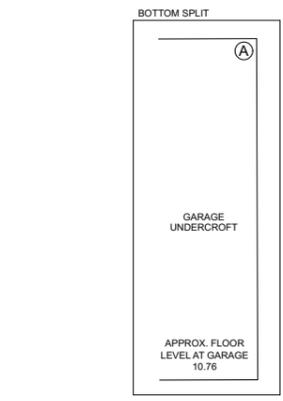


⊕	POWER DOME
⊖	POWER POLE
⊗	PHONE PITS
⊙	WATER CONN.
⊚	TOP PILLAR/POST
⊛	TOP WALL
⊜	TOP RETAINING
⊝	TOP FENCE



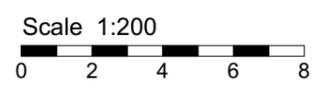
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**NOTE:**  
 FOR FENCING LOCATIONS & POSITIONS SEE FENCING & RETAINING PLAN

**LOT MISCLOSE**  
 0.022 m

- DISCLAIMER:** Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.
- DISCLAIMER:** Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.
- DISCLAIMER:** Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.
- DISCLAIMER:** Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.
- DISCLAIMER:** Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**SITE PLAN - NEW**  
 SCALE 1:200



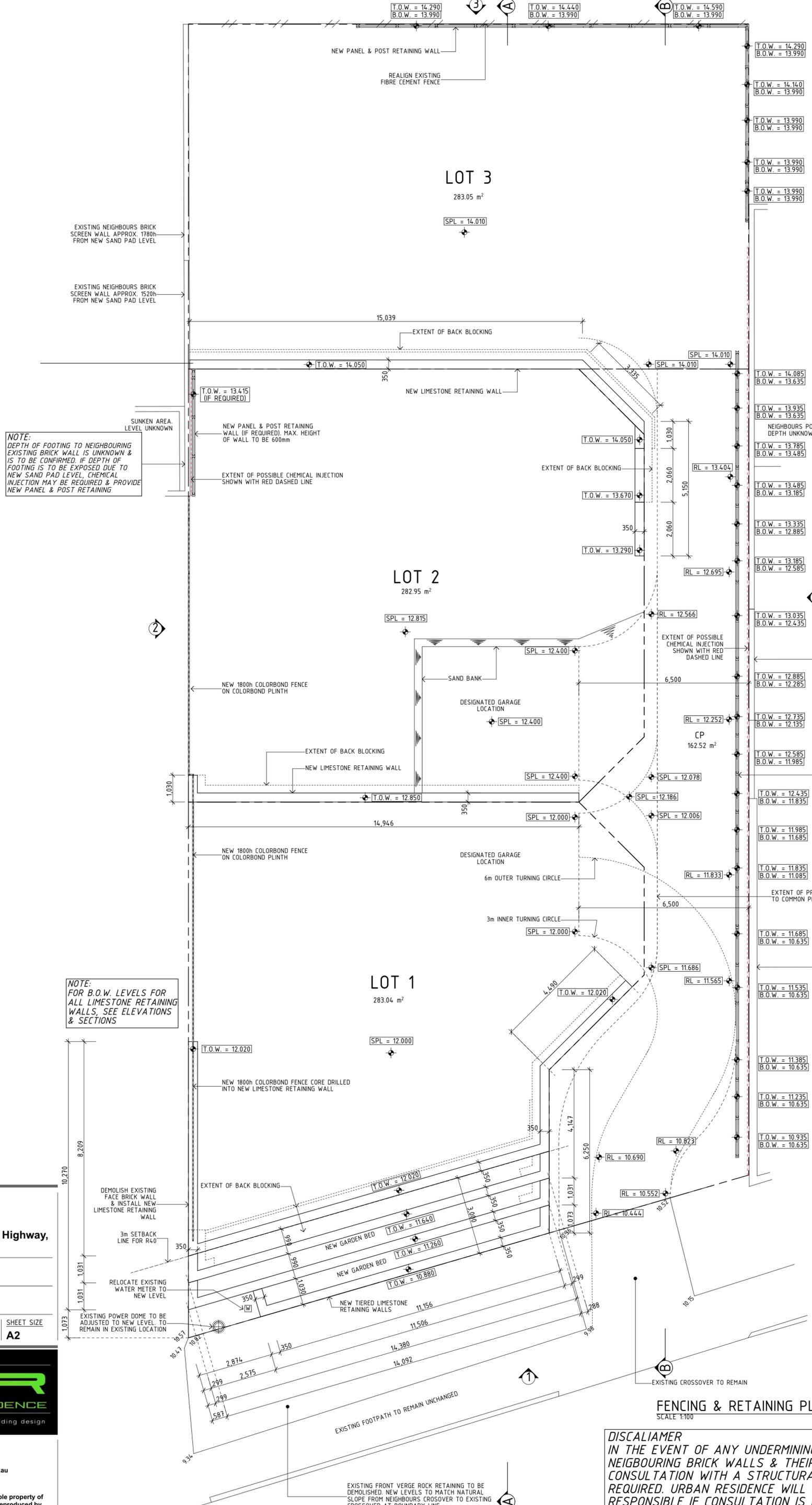
<p>LICENSED SURVEYORS</p>	87-89 Guthrie Street Osborne Park, WA 6017	JOB # 549068	GPS Lat: -32.033057 Long: 115.799350	ROADS Bitumen	ELEC. U/Ground
	PO Box 1611 Osborne Park Business Centre WA 6917	CLIENT Cottage Surveys Subdivisions	LOT Lot 3 (Diag. 5694)	KERBS Non-Mount / Nil	COMMS. Yes
	P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	ADDRESS #455 Canning Highway	AREA 1012m <sup>2</sup> VOL. 1130 FOL.839	FOOTPATH Concrete	WATER Yes
		SUBURB Melville	DATE 28 Jun 23 SSA No	SOIL Sand	GAS Check Alinta
		LGA CITY OF MELVILLE	DRAWN B. Smith	DRAINAGE Good	SEWER Yes
	WATER METER REPOSITION TO SUIT NEW RETAINING		VEGETATION Light Grass Cover	COASTAL No	

architectural drafting - building design

P: 9303 2216  
 M: 0412 596 675  
 W: www.urbanresidence.com.au  
 E: enquiries@urbanresidence.com.au  
 ABN: 62 667 115 904

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SITE ADDRESS <b>Lot 3 (#455) Canning Highway, Melville</b>		JOB No. <b>0155-25</b>
DRAWING SET <b>DESIGN APPROVAL</b>		DRAWING No. <b>2 OF 6</b>
ISSUE No. <b>DA02</b>	DATE <b>6/11/2025</b>	SHEET SIZE <b>A3</b>



**NOTE:**  
DEPTH OF FOOTING TO NEIGHBOURING EXISTING BRICK WALL IS UNKNOWN & IS TO BE CONFIRMED. IF DEPTH OF FOOTING IS TO BE EXPOSED DUE TO NEW SAND PAD LEVEL, CHEMICAL INJECTION MAY BE REQUIRED & PROVIDE NEW PANEL & POST RETAINING

**NOTE:**  
DEPTH OF FOOTING TO NEIGHBOURING EXISTING BRICK WALL IS UNKNOWN & IS TO BE CONFIRMED. IF DEPTH OF FOOTING IS TO BE EXPOSED DUE TO NEW DRIVEWAY LEVEL, CHEMICAL INJECTION MAY BE REQUIRED.

**NOTE:**  
DEPTH OF FOOTING TO NEIGHBOURING EXISTING BRICK WALL IS UNKNOWN & IS TO BE CONFIRMED. IF DEPTH OF FOOTING IS TO BE EXPOSED DUE TO NEW DRIVEWAY LEVEL, CHEMICAL INJECTION MAY BE REQUIRED.

**NOTE:**  
FOR B.O.W. LEVELS FOR ALL LIMESTONE RETAINING WALLS, SEE ELEVATIONS & SECTIONS



**SITE ADDRESS**  
Lot 3 (#455) Canning Highway, Melville

**DRAWING SET**  
DESIGN APPROVAL

ISSUE No.	DATE
DA02	6/11/2025

JOB No.	DRAWING No.	SHEET SIZE
0155-25	3 OF 6	A2

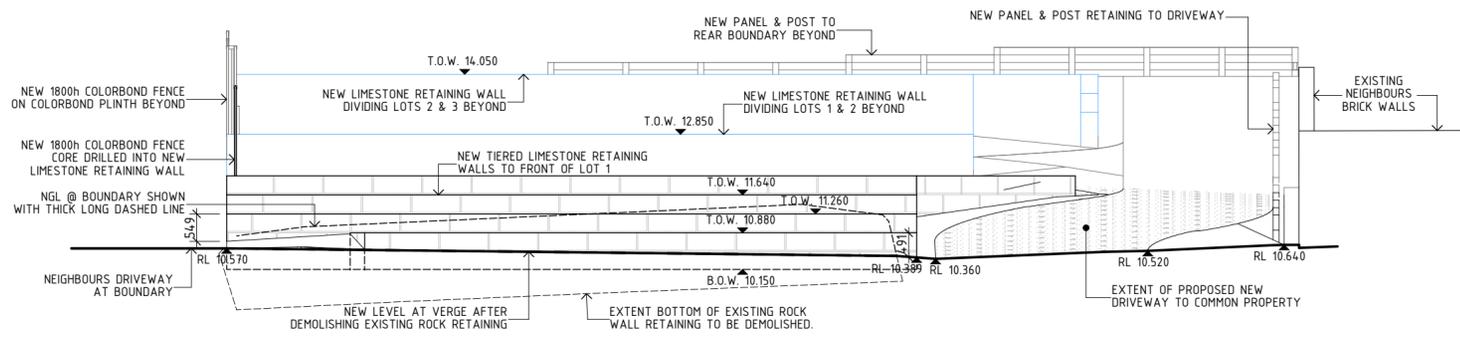
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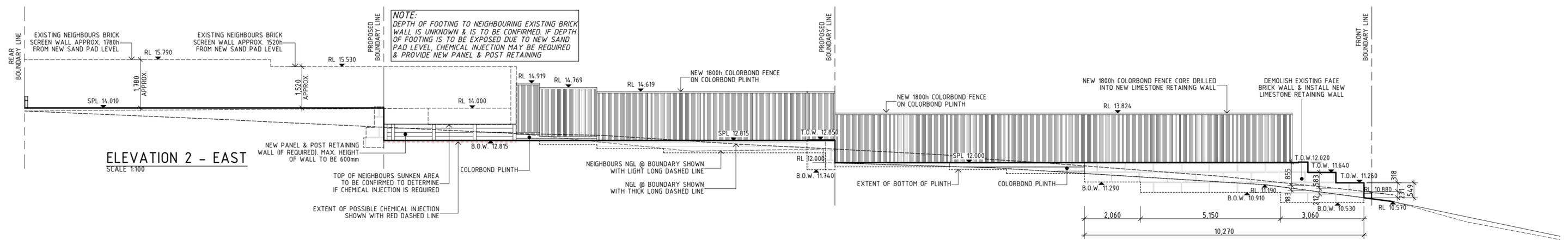
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Version: 2, Version Date: 28/11/2025

**FENCING & RETAINING PLAN**  
SCALE 1:100

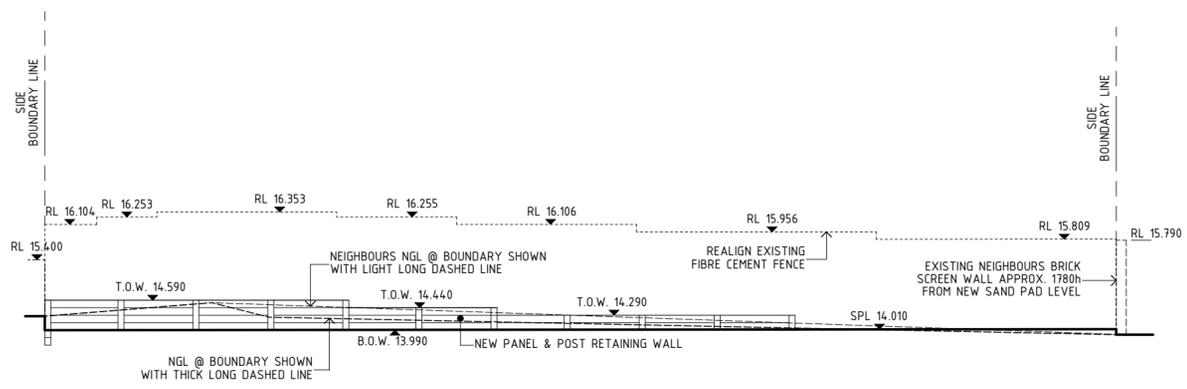
**DISCLAIMER**  
IN THE EVENT OF ANY UNDERMINING OF EXISTING NEIGHBOURING BRICK WALLS & THEIR FOOTINGS, CONSULTATION WITH A STRUCTURAL ENGINEER IS REQUIRED. URBAN RESIDENCE WILL NOT BE HELD RESPONSIBLE IF CONSULTATION IS NOT CARRIED OUT.



**ELEVATION 1 - NORTH**  
SCALE 1:100



**ELEVATION 2 - EAST**  
SCALE 1:100



**ELEVATION 3 - SOUTH**  
SCALE 1:100

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**DRAWING SET**  
**DESIGN APPROVAL**

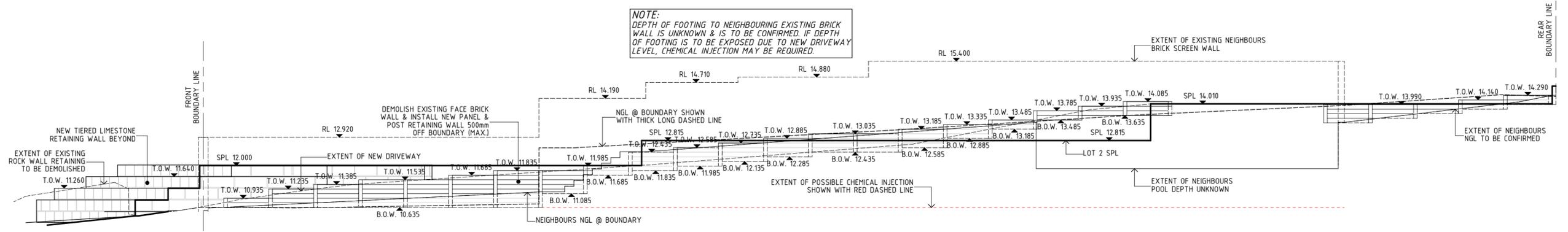
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**DA02**

**DATE**  
**6/11/2025**

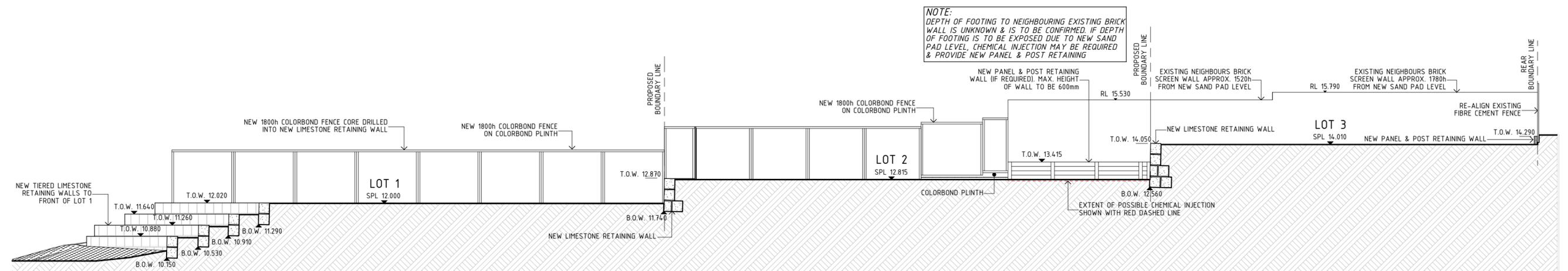
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**0155-25**

**DRAWING No.**  
**4 OF 6**

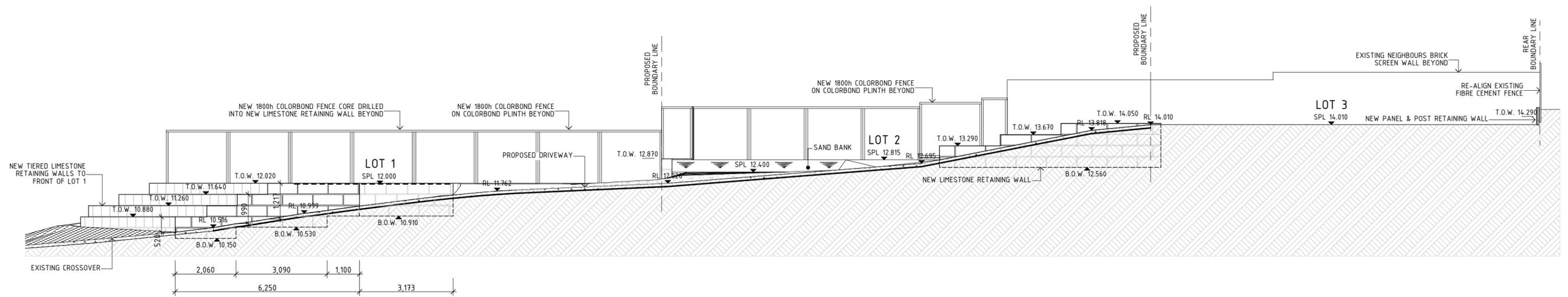
**SHEET SIZE**  
**A2**



**ELEVATION 4 - WEST**  
SCALE 1:100



**SECTION A-A**  
SCALE 1:100



**SECTION B-B - PROPOSED DRIVEWAY**  
SCALE 1:100

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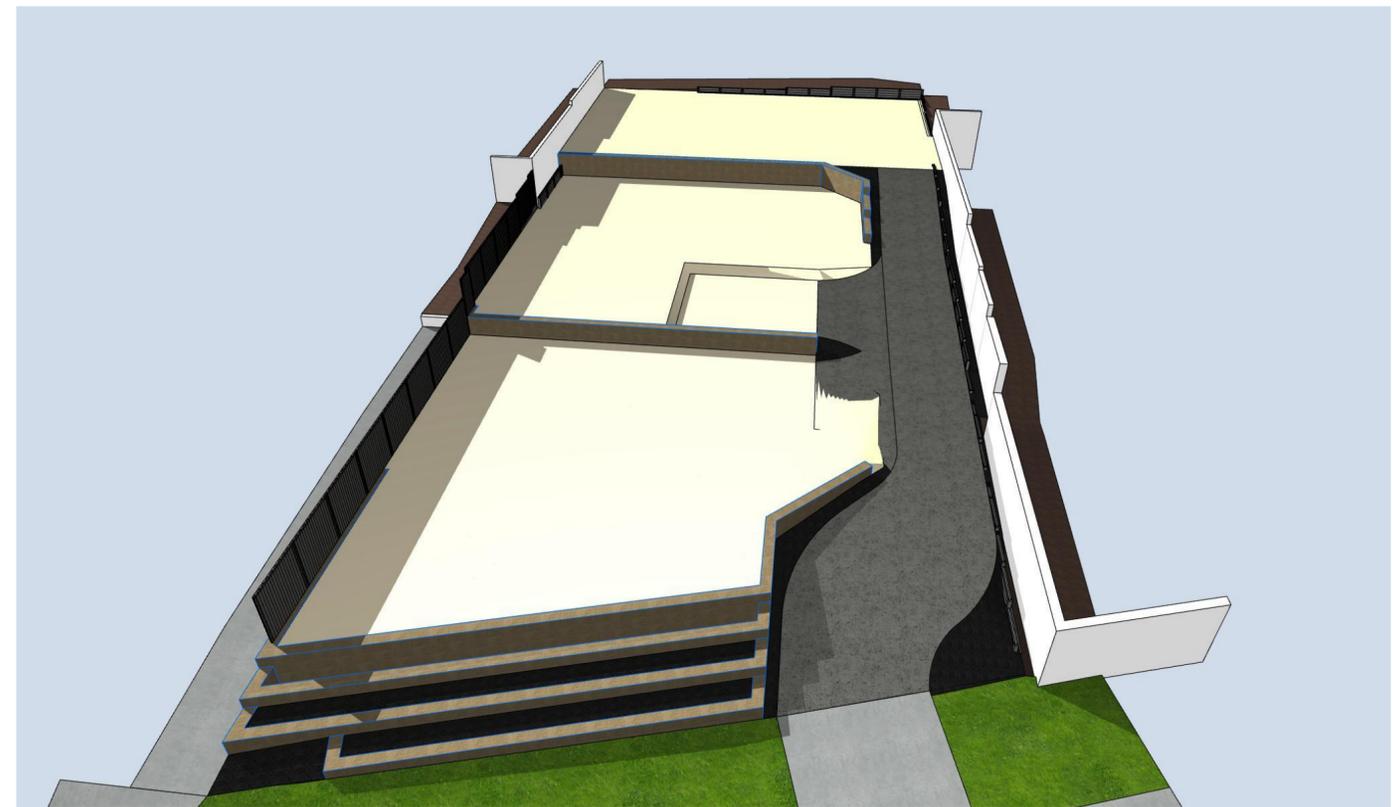
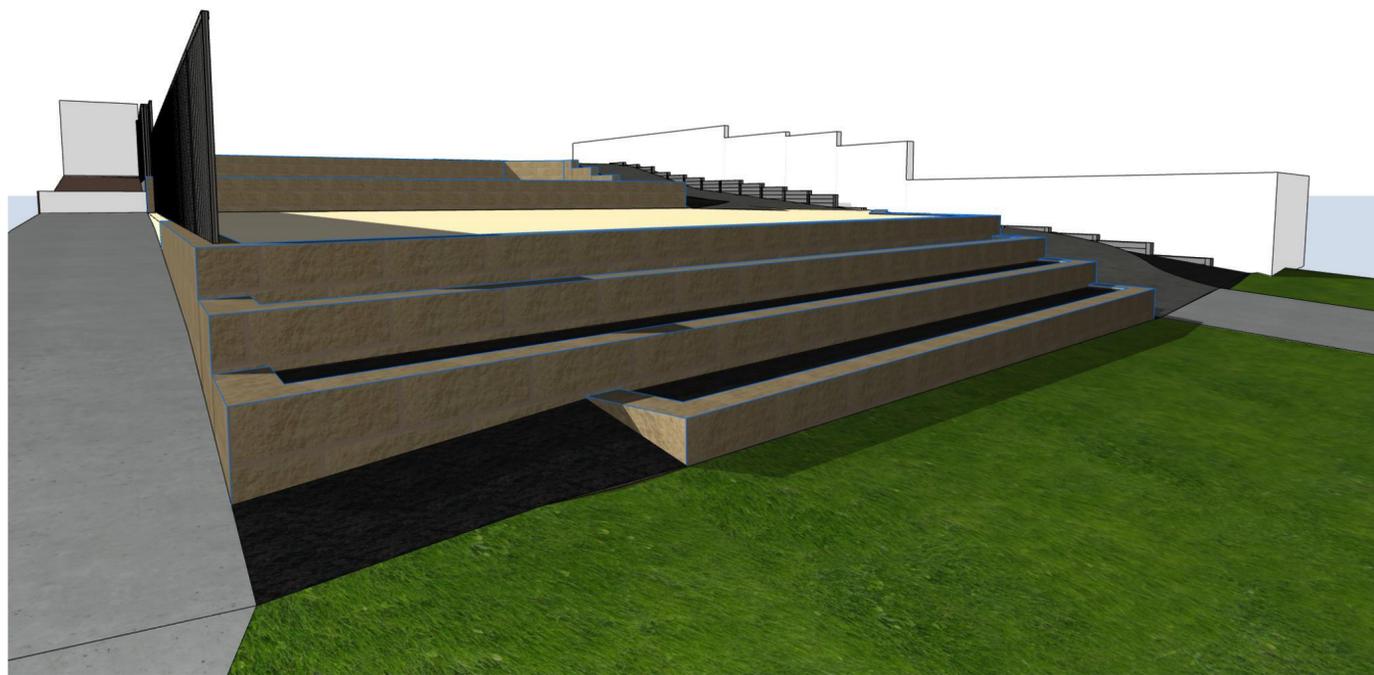
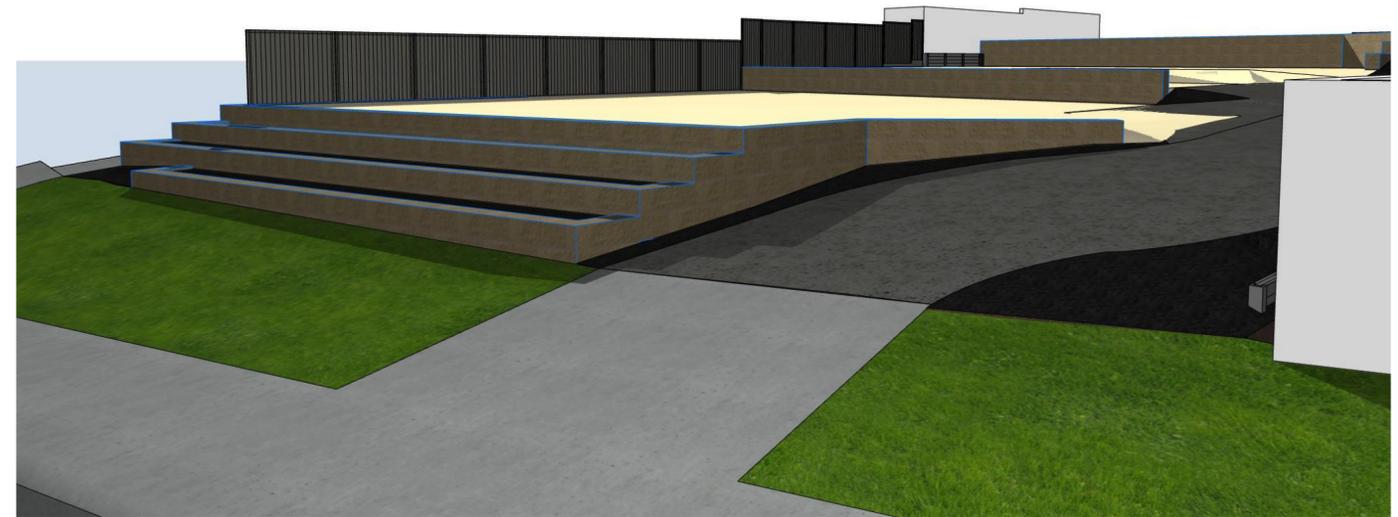
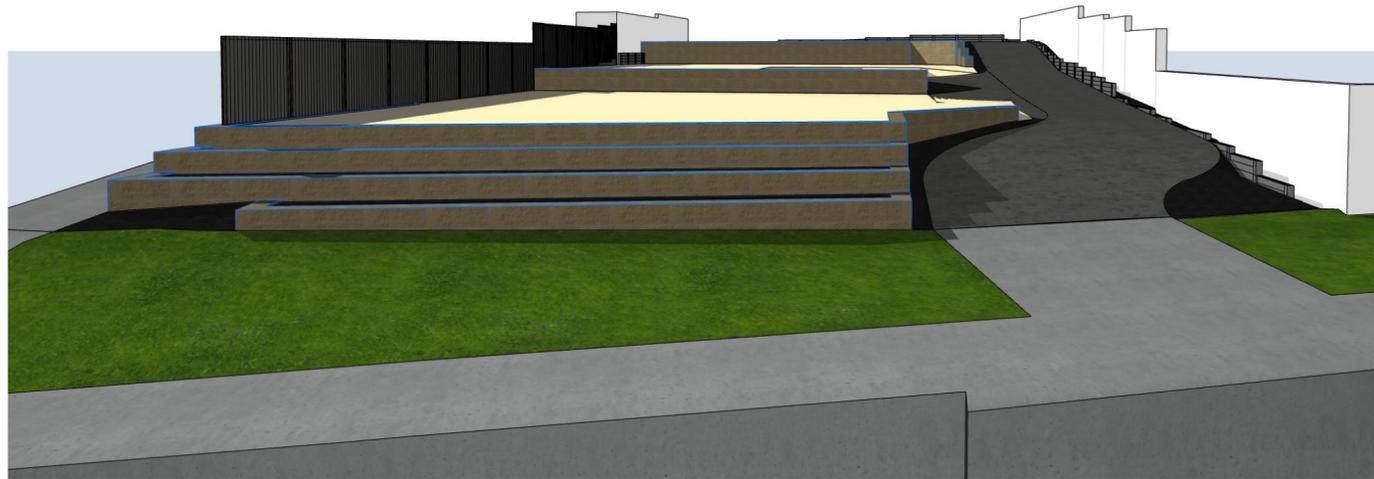
DRAWING SET  
**DA02**

ISSUE No. **DA02**  
DATE **6/11/2025**

JOB No.  
**0155-25**

DRAWING No.  
**5 OF 6**

SHEET SIZE  
**A2**



3D VIEWS - NTS

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	<p>ISSUE No. DATE DA02 6/11/2025</p>	<p>SHEET SIZE <b>A2</b></p>	
	<p>Document Set ID: 7235088 Version: 2, Version Date: 28/11/2025</p>		