

LEGEND	
	POWER DOME
	POWER POLE
	PHONE PITS
	WATER CONN.
	TP=10.00 TOP PILLAR/POST
	TW=10.00 TOP WALL
	TR=10.00 TOP RETAINING
	TF=10.00 TOP FENCE

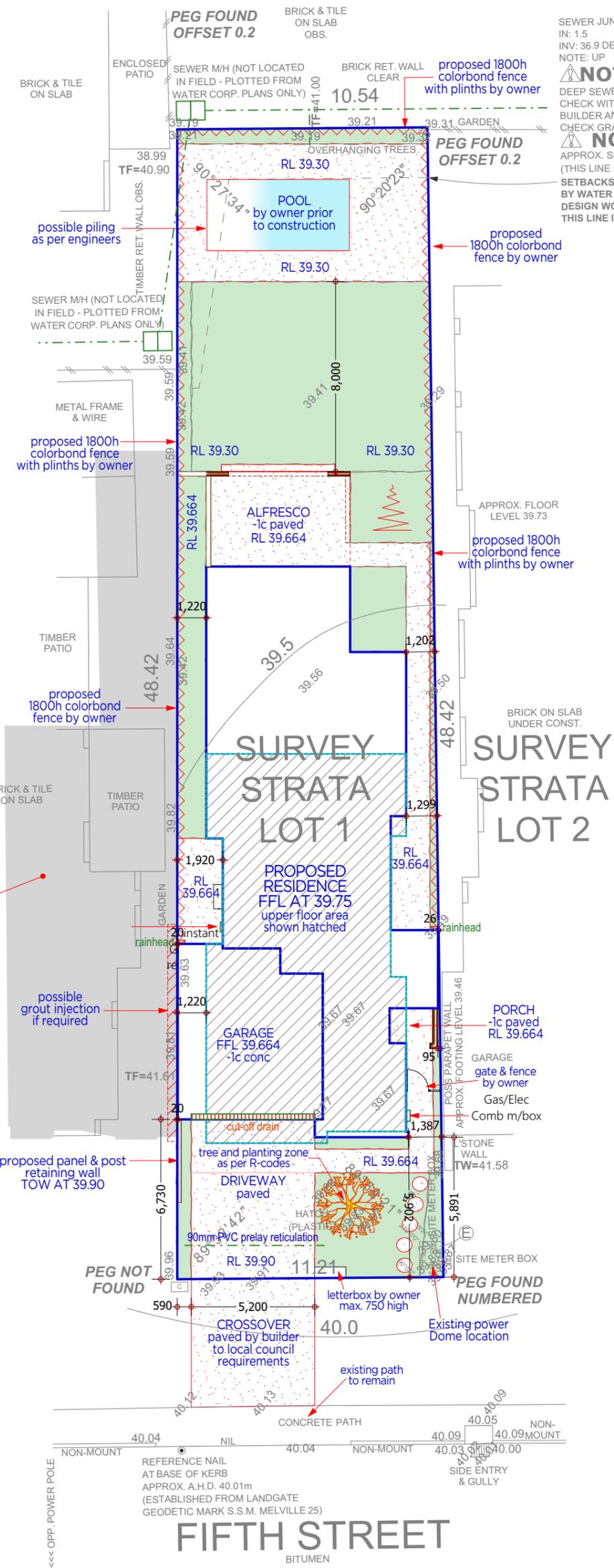
SEWER JUNCTION
IN: 1.5
INV: 36.9 DEPTH: 2.3
NOTE: UP

NOTE:
DEEP SEWER JUNCTION.
CHECK WITH WATER CORP
BUILDER AND PLUMBER
CHECK GRADE.

NOTE:
APPROX. SEWER CLEARANCE LINE
(THIS LINE IS NOT AN EASEMENT)
SETBACKS MUST BE CONFIRMED
BY WATER CORP. BEFORE ANY
DESIGN WORK IS UNDERTAKEN.
THIS LINE IS NOT DEFINITIVE.

SITE COVER CALC'S.	
R-CODE:	R20
SITE AREA:	527m ²
SITE COVER (ENCLOSED AREA)	
HOUSE:	153.97m ²
GARAGE:	42.46m ²
PORCH:	3.31m ²
TOTAL:	199.74m², 37.90%
(OPEN SPACE: 327.26m ² , 62.10%) (50% MIN. OF SITE AREA REQUIRED)	

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and may not reflect the final issued
as part of the final decision of the
application. These plans are not to
be reproduced, copied, shared or
distributed without the consent of
the applicant of this development
application.



proposed house shadow
shown shaded, cast
onto adjoining lot on
21st June at 12pm
163.20m²

possible grout injection
if required

proposed panel & post
retaining wall
TOW AT 39.90

PORCH
-lc paved
RL 39.664

GARAGE
gate & fence
by owner
Gas/Elec
Comb m/box

tree and planting zone
as per R-codes

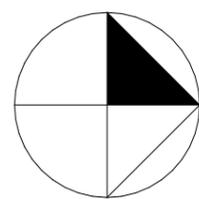
FIFTH STREET
BITUMEN

Scale 1:200
0 2 4 6 8

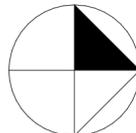
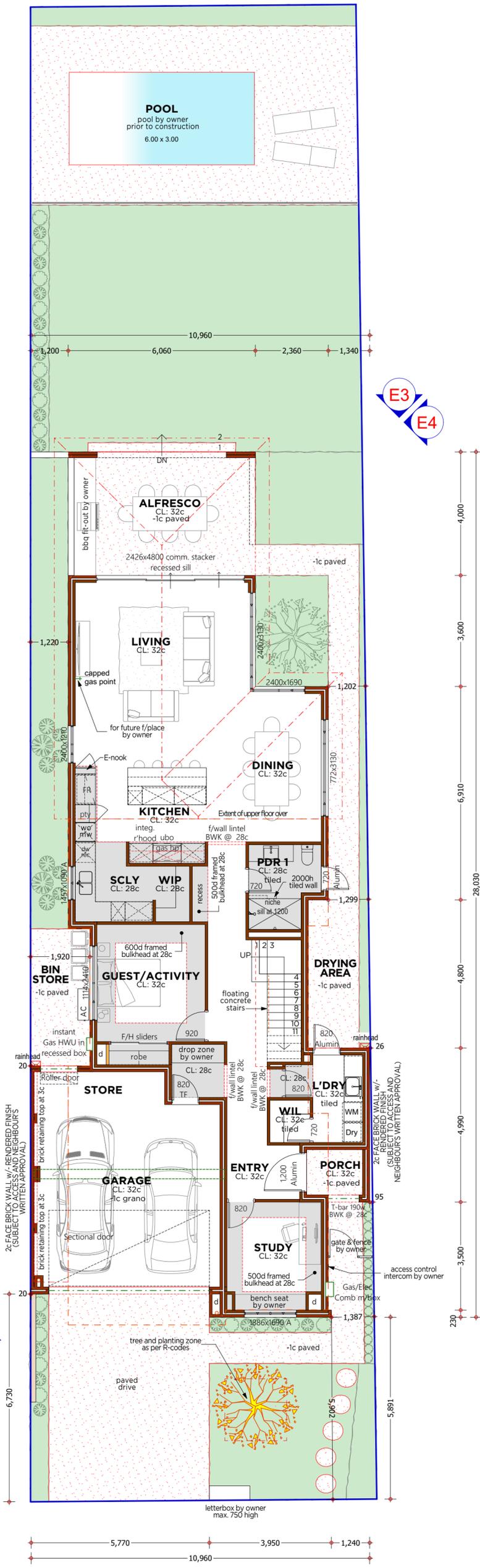


PROPOSED SITE ADDRESS:
PROPOSED LOT 1 #58 FIFTH STREET
BICTON

PROPOSED SITE PLAN

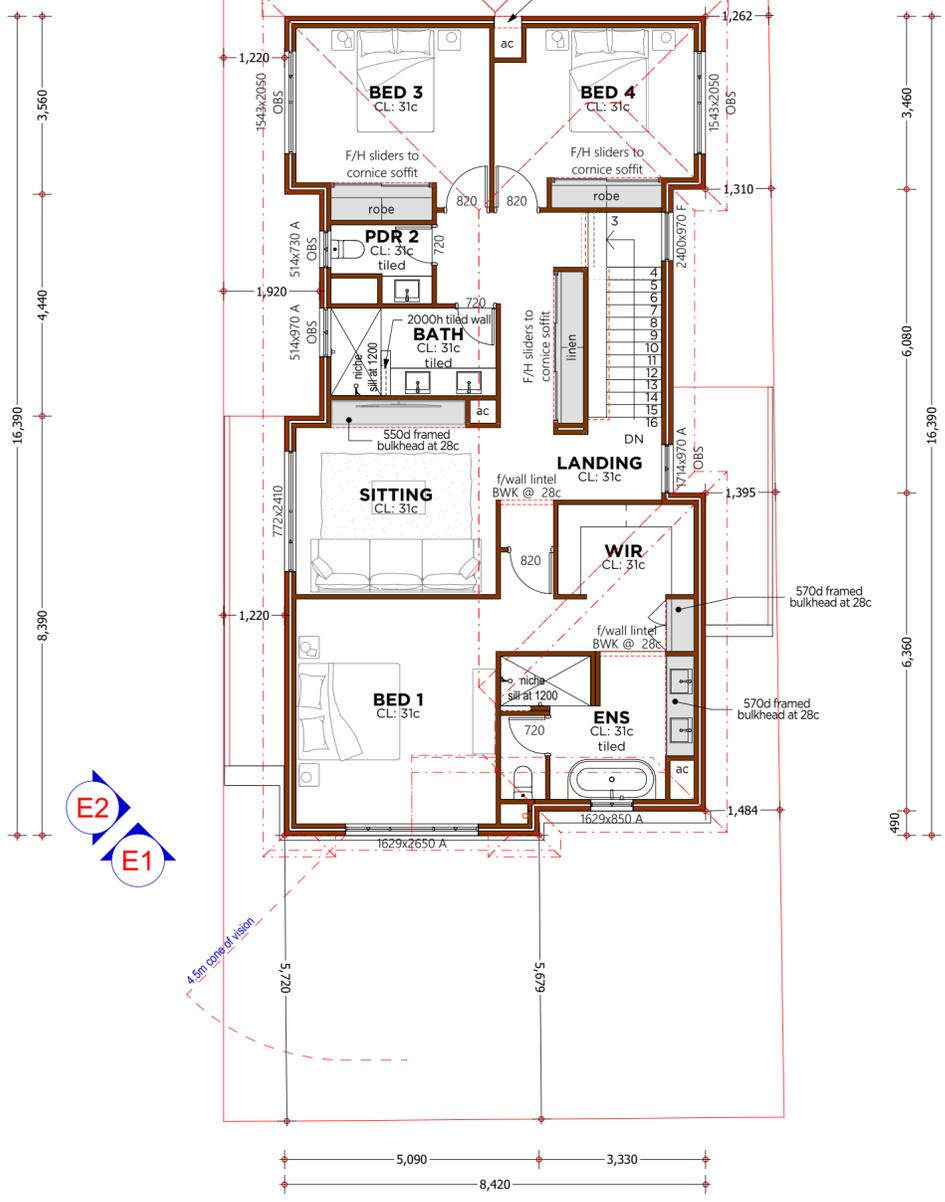


A3 SHEET
SHEET: 3 of 8
DRN: Nick R
SCALE
CURRENT REVISION:
PL-01 21/10/2025
CONTRACT NO:
25021



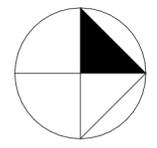
HOUSE AREA CALCULATIONS		
. PORCH	3.31	7.480
. ALFRESCO	24.20	20.100
. GARAGE/STORE	42.46	27.000
. UPPER FLOOR	129.31	52.900
. GROUND FLOOR	153.97	70.960
		353.25 m ²

E3
E4



PROPOSED SITE ADDRESS:
PROPOSED LOT 1 #58 FIFTH STREET
BICTON

FIRST FLOOR PLAN



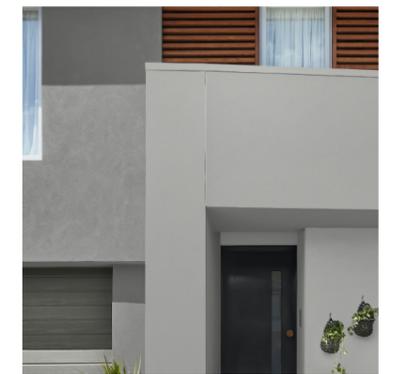
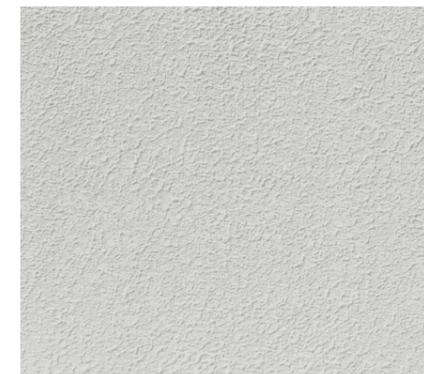
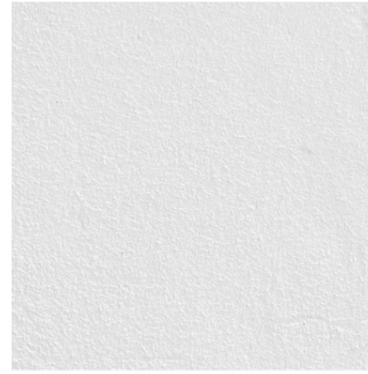
A2 SHEET
SHEET: 6 of 8
DRN: Nick R
SCALE 1:100
CURRENT REVISION:
PL-01 21/10/2025
CONTRACT NO:
25021

HOUSE AREA CALCULATIONS		
. PORCH	3.31	7.480
. ALFRESCO	24.20	20.100
. GARAGE/STORE	42.46	27.000
. UPPER FLOOR	129.31	52.900
. GROUND FLOOR	153.97	70.960
		353.25 m ²

EXTERNAL FINISHES

WF1 - WHITE RENDER (COLOUR: DULUX ANTIQUE WHITE OR SIMILAR)

WF2 - OFF WHITE RENDER (COLOUR: DULUX SILKWORT)

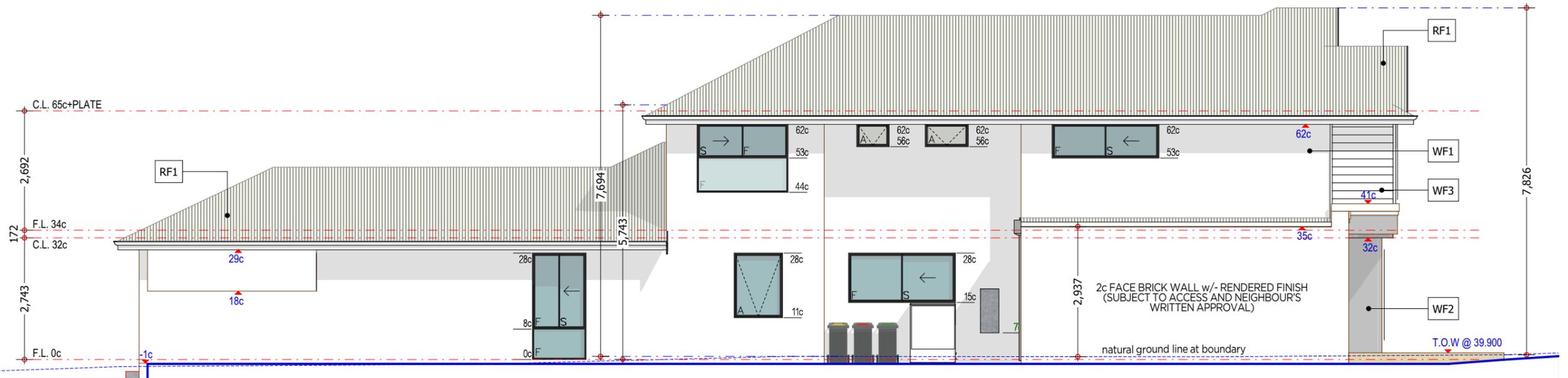


WF3 - LINEA WEATHERBOARD (COLOUR: DULUX WHITE ON WHITE)

RF1 - COLORBOND CUSTOM ORB (COLOUR: WOODLAND GREY)



E1 ELEVATION 1 (EAST)
1:100

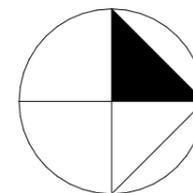


E2 ELEVATION 2 (SOUTH)
1:100



PROPOSED SITE ADDRESS:
PROPOSED LOT 1 #58 FIFTH STREET
BICTON

ELEVATIONS 1



A3 SHEET
SHEET: 7 of 8
DRN: Nick R
SCALE 1:100
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CONSTRUCTION NOTES

GROUND FLOOR: 25°38' | 5° PITCH
 FIRST FLOOR: 27°28' PITCH
 METAL CORRUGATED ROOF COVER

31c/298c GROUND FLOOR CEILING HEIGHT
 31c FIRST FLOOR CEILING HEIGHT

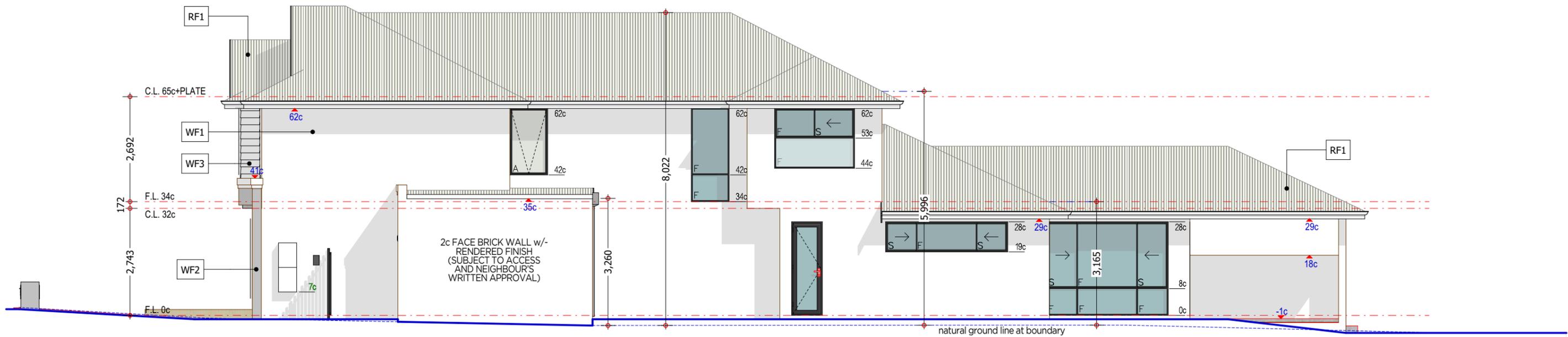
EXTERNAL WALL FINISH LEGEND

REFER ADDENDUM FOR
 WF1 (MAIN WALL FINISH)

WF2: CONTRASTING RENDER
 WF3: LINEA WEATHERBOARD CLADDING



E3 ELEVATION 3 (WEST)
 1:100

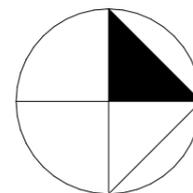


E4 ELEVATION 4 (NORTH)
 1:100



PROPOSED SITE ADDRESS:
 PROPOSED LOT 1 #58 FIFTH STREET
 BICTON

ELEVATIONS 2



A3 SHEET
 SHEET: 8 of 8
 DRN: Nick R
 SCALE 1:100
 CURRENT REVISION:
 PL-01 21/10/2025
 CONTRACT NO:
 25021