



Concept Design Sheet List				
Sheet	Sheet Name	Revision	Description	Date
D00	Cover Sheet	E	Planning Amendment - Deck height note	04/12/25
D01	Site Survey	E	Planning Amendment - Deck height note	04/12/25
D02	Level 1 Demo and Floor Plans	E	Planning Amendment - Deck height note	04/12/25
D03	Level 2 Demo and Floor Plans	E	Planning Amendment - Deck height note	04/12/25
D04	Demo and Roof Plan	E	Planning Amendment - Deck height note	04/12/25
D05	Elevations	E	Planning Amendment - Deck height note	04/12/25
D06	3D Perspectives	E	Planning Amendment - Deck height note	04/12/25
D07	Planning Diagrams	E	Planning Amendment - Deck height note	04/12/25

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**R-CODE - R12.5  
ZONE - RESIDENTIAL  
PRECINCT PLAN - NO**

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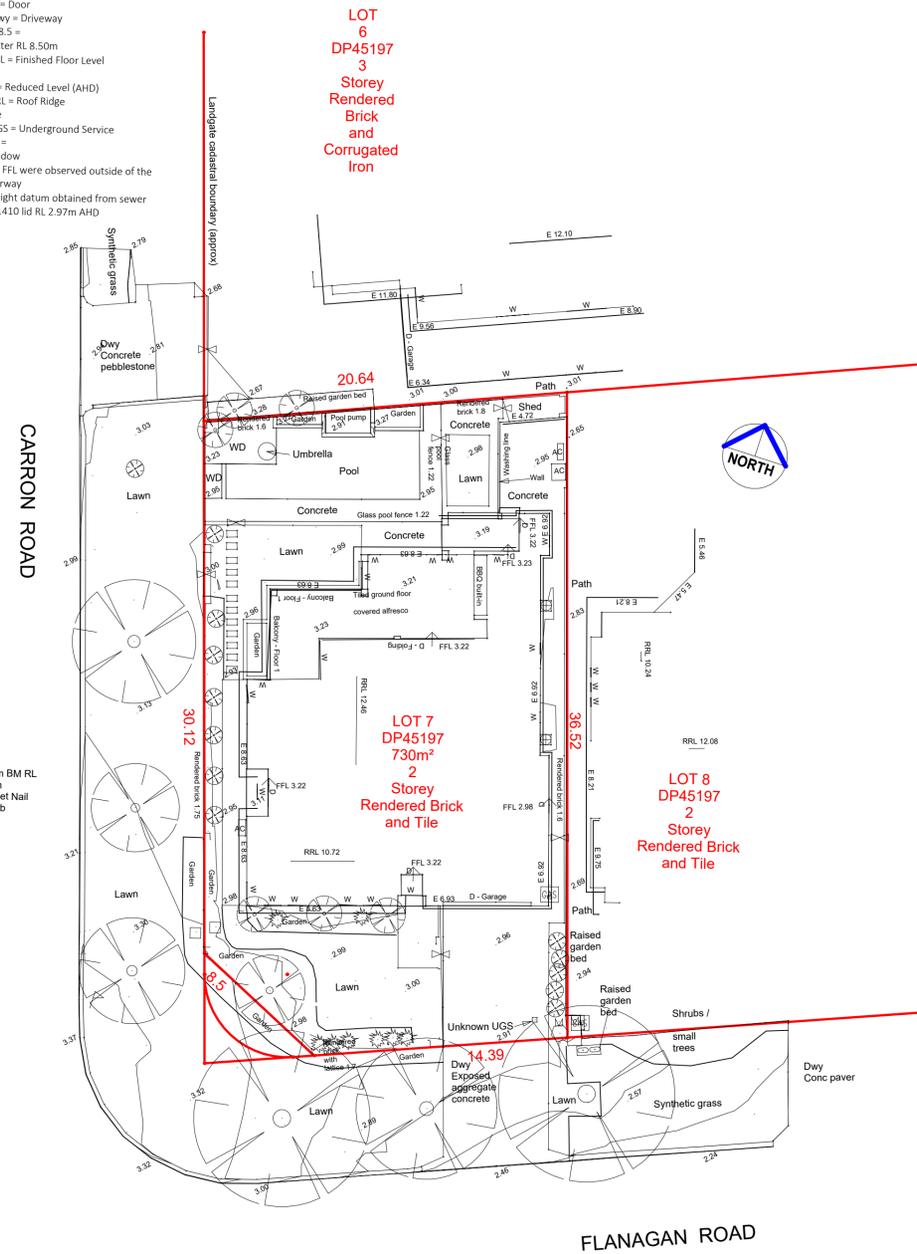
**Morris**  
 2 Flanagan Road  
 Applecross  
**Development Approval**

Rev - E 04/12/25

**RA**  
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NOTES:  
 - D = Door  
 - Dwy = Driveway  
 - E 8.5 =  
 Gutter RL 8.50m  
 - FFL = Finished Floor Level  
 -  
 RL = Reduced Level (AHD)  
 - RRL = Roof Ridge  
 Line  
 - UGS = Underground Service  
 - W =  
 Window  
 - All FFL were observed outside of the doorway  
 - Height datum obtained from sewer pit 1410 lid RL 2.97m AHD



**1 Existing Survey Copy 2**  
 SCALE: 1:200

NOTES:  
 - D = Door  
 - Dwy = Driveway  
 - E 8.5 =  
 Gutter RL 8.50m  
 - FFL = Finished Floor Level  
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 RL = Reduced Level (AHD)  
 - RRL = Roof Ridge  
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 - W =  
 Window  
 - All FFL were observed outside of the doorway  
 - Height datum obtained from sewer pit 1410 lid RL 2.97m AHD



**2 Site Plan Copy 2**  
 SCALE: 1:200

Revision	Date	Description
E	04/12/25	Planning Amendment - Deck height note
D	18.09.25	Issued for Planning Review
C	10.7.25	Client requested amendments
B	23.6.25	Client requested amendments
A	11.6.25	Initial Conceptual Design

Drawing Status: **Development Approval**

Current Revision: **Rev E**

Sheet: **Site Survey**

Sheet #: **D01**

Scale: **Sheet Size A1 @ 1:200**

Client Name: **Morris**

Project Address: **2 Flanagan Road  
Applecross**

RA Job #: **RA\_2502\_Morris**



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**R-CODE - R12.5  
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RA_Materials	
Key Value	Keynote Text
C200	Default Concrete Exposed Aggregate
FAB4	Default Fab (By Owner)
T01	Default Tile 600x300 TBC

**PROJECT NOTES**

COASTAL CONDITIONS **NO**

BAL Rating **NO**

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ALL ALUMINIUM WINDOWS TO COMPLY WITH AS 2047  
 WINDOWS TO UPPER FLOOR BEDROOMS TO COMPLY WITH BCA PROTECTION FOR OPENABLE WINDOWS IN BEDROOMS WHERE EXTERNAL FLOOR SURFACE BELOW IS MORE THAN 2.0M  
 STAIR CONSTRUCTION TO COMPLY WITH BCA PART 3.9.1  
 WET AREAS TO BE TILED AND WATERPROOFED TO COMPLY WITH BCA PART 3.8.1  
 WHERE A WC PAN IS WITHIN 1200MM OF THE HINGE OF A WC DOOR, LIFT OFF HINGES ARE REQUIRED.  
 POOL FENCING AND GATES, AS WELL AS ANY WINDOW OR DOOR OPENING INTO THE POOL AREA MUST COMPLY WITH AS 1926.1 - 2012 AND 1926.2 - 2007

NUMBER AND POSITION OF DOWNPIPES ARE SUBJECT TO VARIATION BY PLUMBER ON SITE.  
 REGARDING P50 CEILINGS, BRICKWORK WHERE APPLICABLE TO EXTEND AN ADDITIONAL 20 ABOVE THE CEILING LEVEL & NEGATIVE DETAIL TO LOCK FRAMES. ALL CORNERS NEED TO BE SHARP CLEAN LINES AND NOT ROUNDED.

- ALL EXHAUST VENTS TO BE FLUMED TO EXTERNAL AIR.
- Ⓢ HARD WIRED SMOKE DETECTORS TO COMPLY WITH AS3786-2014
  - Ⓢ SILICON GLAZING JOIN
  - wv WALL VENT
  - Ⓢ GAS POINT
  - TIMBER STUD WALL IN SECTION
  - TIMBER STUD WALL IN ELEVATION

**STORMWATER NOTES**  
 COLLECTED STORMWATER TO BE DISPOSED VIA ##### PLUMBER TO CONFIRM ALL COUNCIL REQUIREMENTS.  
 SUB-SILL DRAINAGE TO ALL RECESSED AND ZERO THRESHOLD DOOR / WINDOW SILLS.

**AIR CONDITIONING**  
 READ ARCHITECTURAL PLANS IN CONJUNCTION WITH CONSULTANTS DESIGN AND SPECIFICATION.

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D	18.09.25	Issued for Planning Review
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B	23.6.25	Client requested amendments
A	11.6.25	Initial Conceptual Design

Drawing Status: **Development Approval**

Current Revision: **Rev E**

Sheet: **Level 1 Demo and Floor Plans**

Sheet #: **D02**

Scale: **Sheet Size A1 @ 1:100**

Client Name: **Morris**

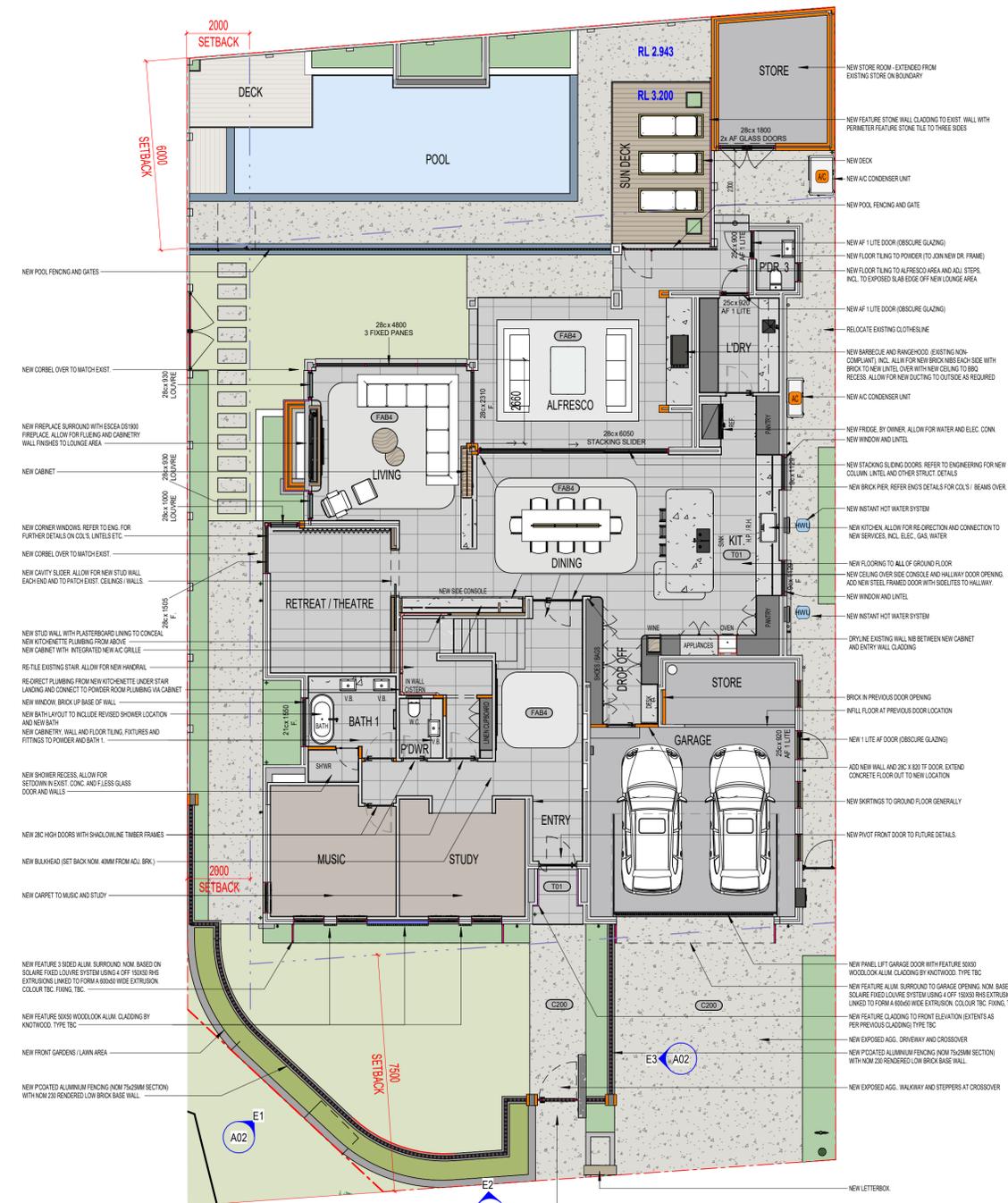
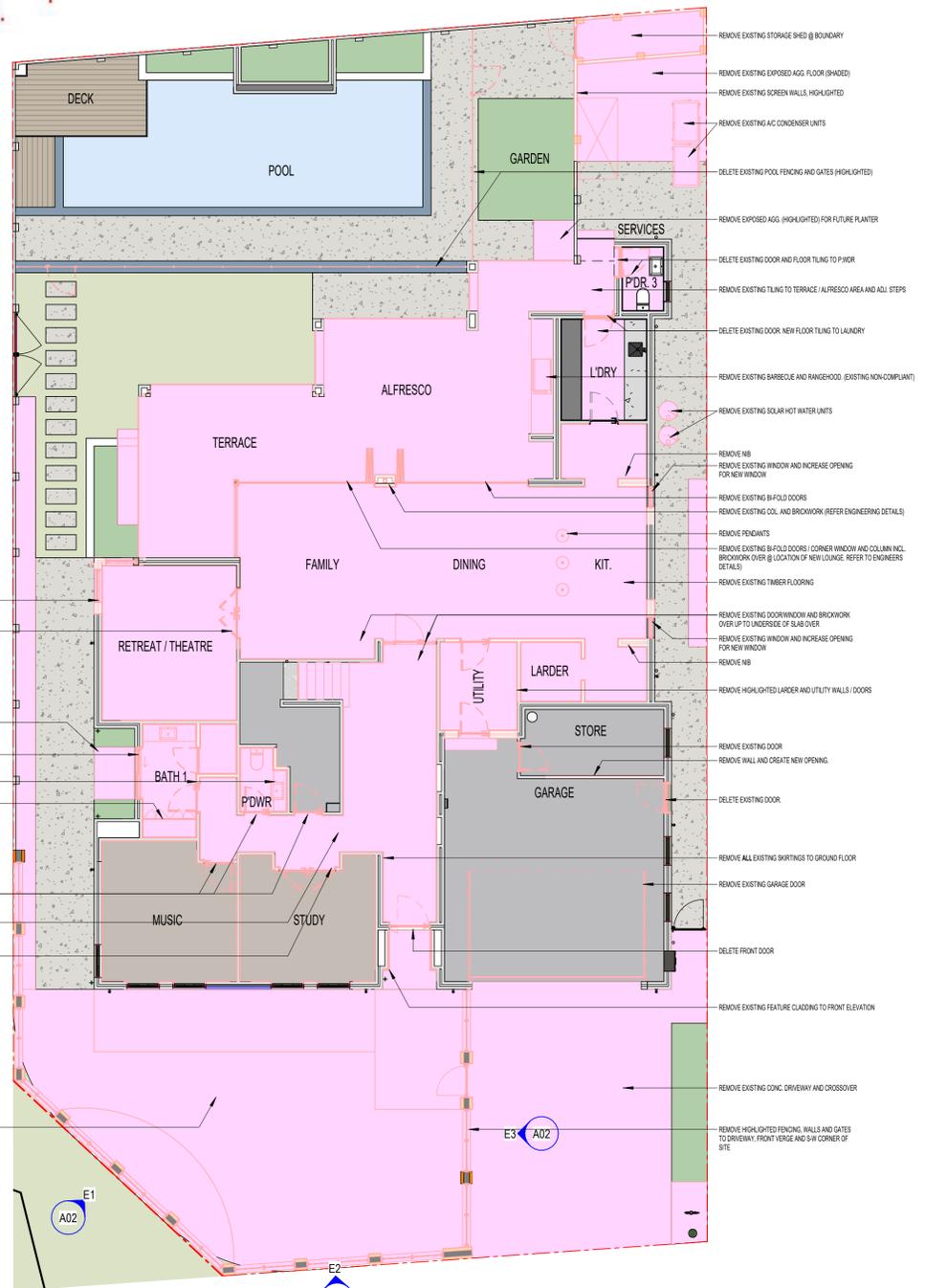
Project Address: **2 Flanagan Road Applecross**

RA Job #: **RA\_2502\_Morris**



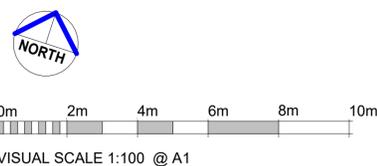
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**2 Existing L1 (0c) Copy 1**  
 SCALE: 1:100

**1 Proposed L1 (0c) Copy 1**  
 SCALE: 1:100



**R-CODE - R12.5  
 ZONE - RESIDENTIAL  
 PRECINCT PLAN - NO**

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RA_Materials	
Key Value	Keynote Text
C400	Concrete Trak
CPTD	Detail Carpet TBC
PLD	Detail Plasterboard TBC
PTFC1	Powdercoat Dulux Colourbond Monument
T01	Detail Tile 600x300 TBC

**PROJECT NOTES**

COASTAL CONDITIONS **NO**

BAL Rating **NO**

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D	18.09.25	Issued for Planning Review
C	10.7.25	Client requested amendments
B	23.6.25	Client requested amendments
A	11.6.25	Initial Conceptual Design

Drawing Status: **Development Approval**

Current Revision: **Rev E**

Sheet: **Level 2 Demo and Floor Plans**

Sheet #: **D03**

Scale: **Sheet Size A1 @ 1:100**

Client Name: **Morris**

Project Address: **2 Flanagan Road Applecross**

RA Job #: **RA\_2502\_Morris**



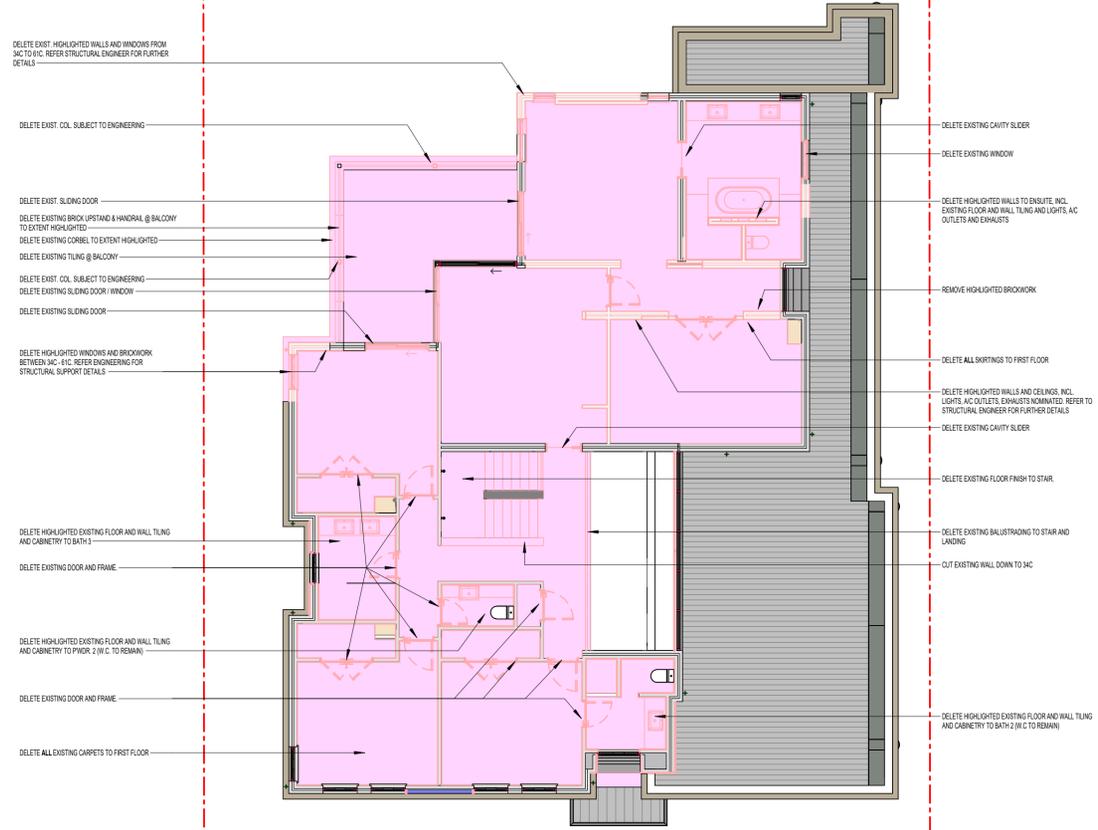
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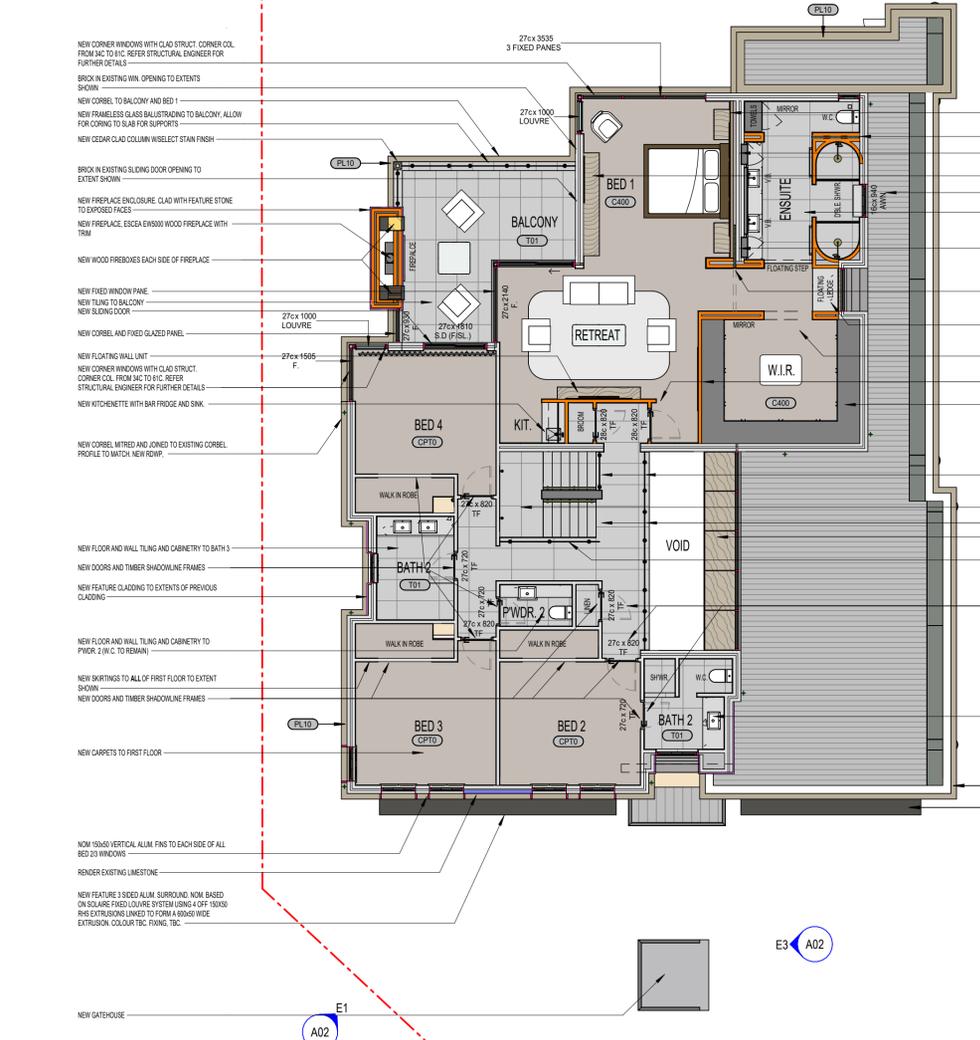
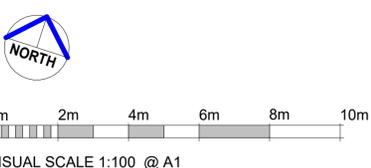
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D05 8  
6

I05 8  
6



**2 Existing L2 (34c) Copy 1**  
SCALE: 1:100



**1 Proposed L2 (34c) Copy 1**  
SCALE: 1:100

**R-CODE - R12.5 ZONE - RESIDENTIAL PRECINCT PLAN - NO**

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Key	RA_Materials
Value	Keystone Text

### PROJECT NOTES

COASTAL CONDITIONS	<b>NO</b>
BAL Rating	<b>NO</b>

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- wv WALL VENT
- <img alt="gas point symbol" data-bbox="895 358 915 368"/> GAS POINT
-  TIMBER STUD WALL IN SECTION
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B	23/6/25	Client requested amendments
A	11/6/25	Initial Conceptual Design
Revision	Date	Description

Drawing Status: **Development Approval**

Current Revision: **Rev E**

Sheet: **Demo and Roof Plan**

Sheet #: **D04**

Scale: **Sheet Size A1 @ 1 : 100**

Client Name: **Morris**

Project Address: **2 Flanagan Road  
Applecross**

RA Job #: **RA\_2502\_Morris**

# RA

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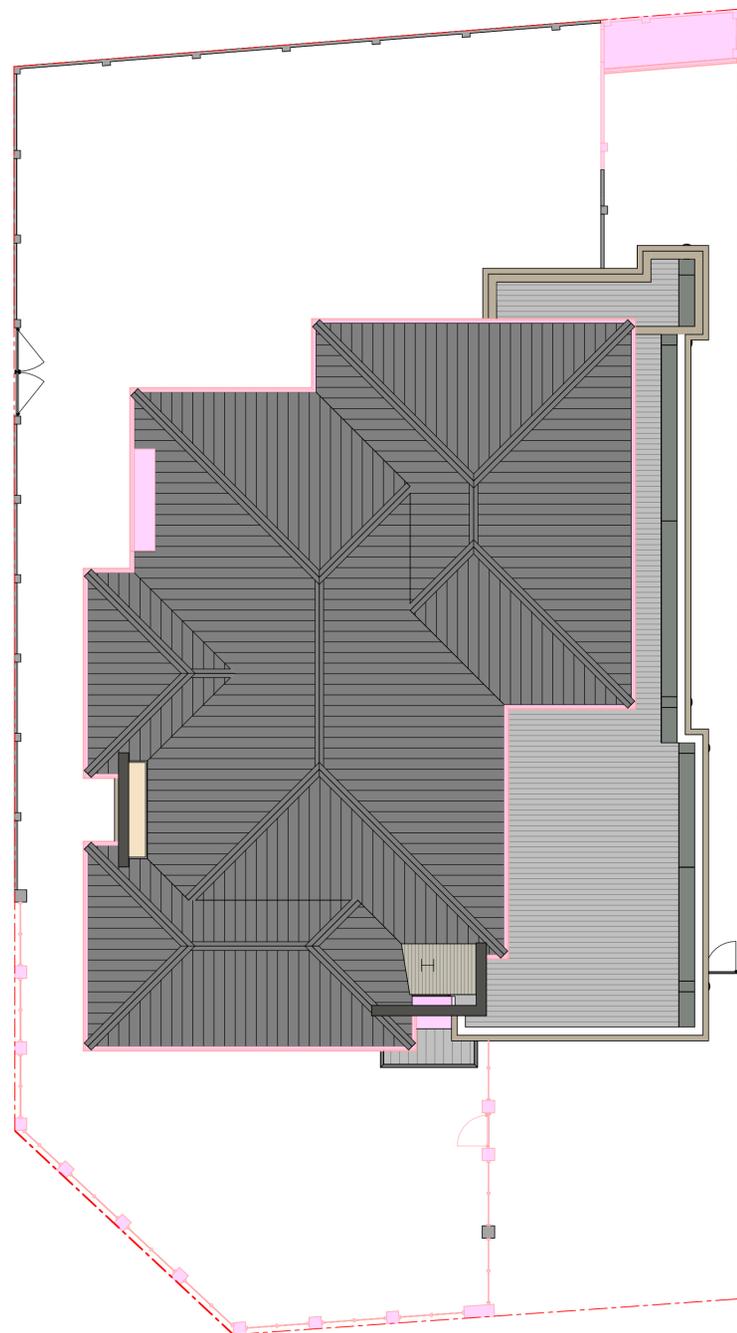
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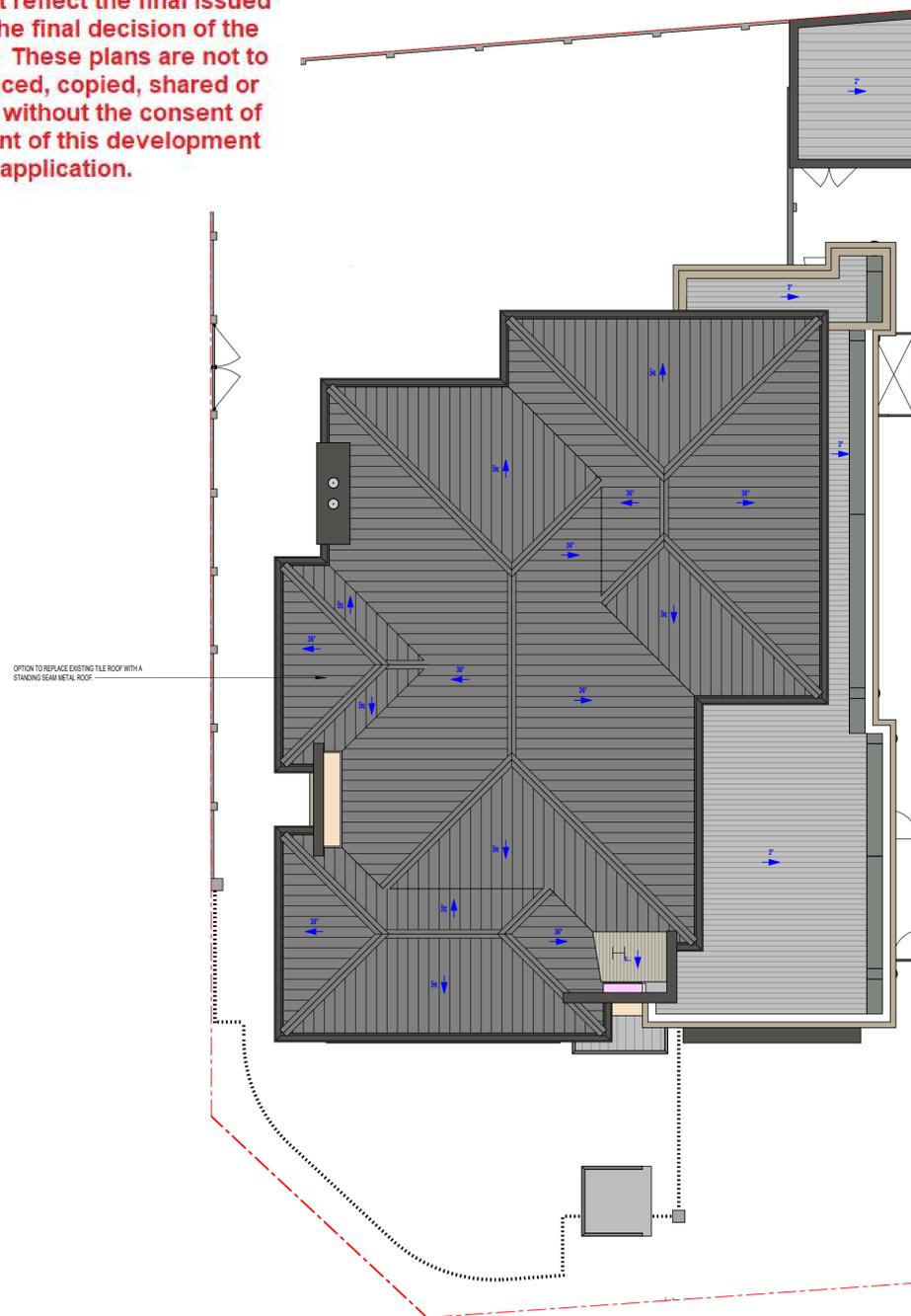
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**1 Existing Roof Plan Copy 1**  
SCALE: 1 : 100



**2 Proposed Roof Plan Copy 1**  
SCALE: 1 : 100



0m 2m 4m 6m 8m 10m

VISUAL SCALE 1:100 @ A1

**R-CODE - R12.5  
ZONE - RESIDENTIAL  
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**8 W Existing Copy 1**  
SCALE: 1:100

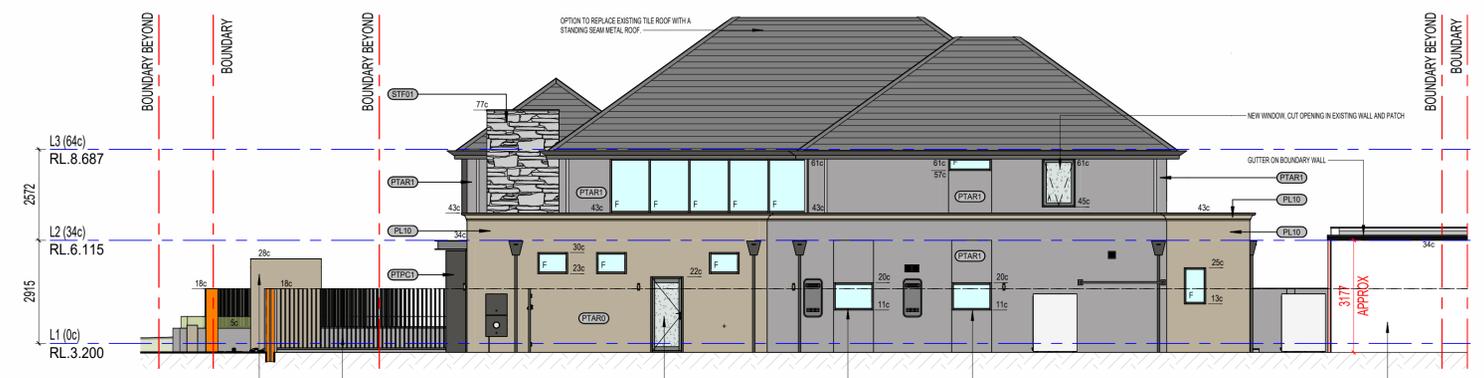


**4 W Proposed Copy 1**  
SCALE: 1:100

RA_Materials	
Key Value	Keynote Text
GLD	Default Glass TBC as per A.S. 1288-2006
GLT	Glass Clear as per A.S. 1288-2006
PL10	Default Polished Plaster TBC
PTARI	Default External Render Light
PTARD	Default External Render Dark
PTPCH	Prepared Stone Coloured Mortar
STF01	Default Feature Stone Cladding TBC



**5 E Existing Copy 1**  
SCALE: 1:100



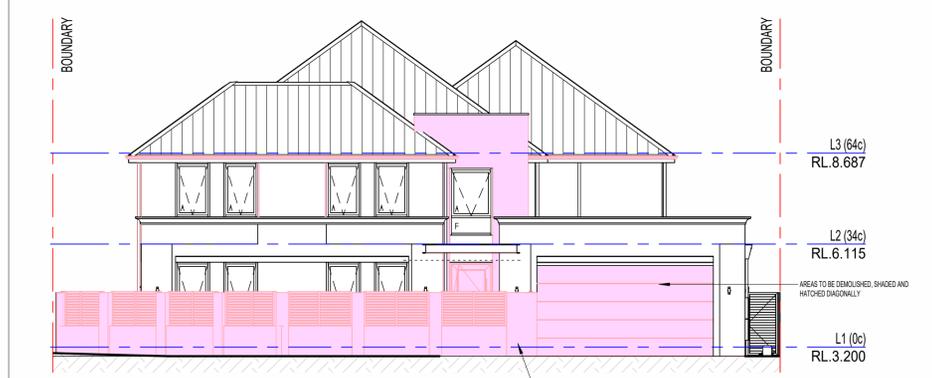
**1 E Proposed Copy 1**  
SCALE: 1:100



**6 N Existing Copy 1**  
SCALE: 1:100



**2 N Proposed Copy 1**  
SCALE: 1:100



**7 S Existing Copy 1**  
SCALE: 1:100



**3 S Proposed Copy 1**  
SCALE: 1:100

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Drawing Status: **Development Approval**

Current Revision: **Rev E**

Sheet: **Elevations**

Sheet #: **D05**

Scale: **Sheet Size A1 @ 1:100**

Client Name: **Morris**

Project Address: **2 Flanagan Road Applecross**

RA Job #: **RA\_2502\_Morris**



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**R-CODE - R12.5 ZONE - RESIDENTIAL PRECINT PLAN - NO**



3D1 3D View 1 Copy 1  
SCALE:



3D2 3D View 2 Copy 1  
SCALE:

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3D4 3D View 4 Copy 1  
SCALE:



3D8 3D View 8 Copy 1  
SCALE:

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Drawing Status: **Development Approval**

Current Revision: **Rev E**

Sheet: **3D Perspectives**

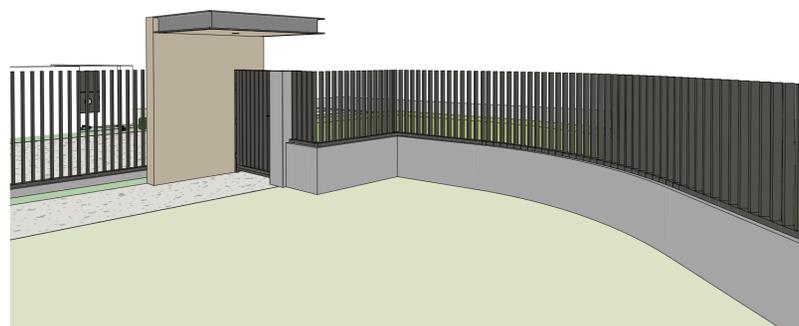
Sheet #: **D06**

Scale: **Sheet Size A1 @**

Client Name: **Morris**

Project Address: **2 Flanagan Road  
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RA Job #: **RA\_2502\_Morris**



3D3 3D View 3 Copy 1  
SCALE:



3D9 3D View 9 Copy 1  
SCALE:

**RA**  
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**OPEN SPACE CALCULATIONS**  
 SITE AREA = 730.00 m<sup>2</sup>  
 REQUIRED OPEN SPACE = 401.50 m<sup>2</sup> (55%)  
 ACTUAL OPEN SPACE = 406.44 m<sup>2</sup> (55.6%)



**2 Open Space**  
 SCALE: 1:100



PROPOSED NEW OVERSHADOWING

OVERSHADOWING @ WINTER SOLSTICE

ADJOINING LOT AREA = 739 m<sup>2</sup>  
 ALLOWABLE OVERSHADOWING @ 25% = 184.75 m<sup>2</sup>  
 EXISTING = 117.753 m<sup>2</sup>  
 PROPOSED NEW = 18.911 m<sup>2</sup>  
 TOTAL OVERSHADOWING = 136.664 m<sup>2</sup>

EXISTING OVERSHADOWING

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Revision	Date	Description
E	04/12/25	Planning Amendment - Deck height note
D	18.09.25	Issued for Planning Review
C	10.7.25	Client requested amendments
B	23.6.25	Client requested amendments
A	11.6.25	Initial Conceptual Design

Drawing Status: **Development Approval**

Current Revision: **Rev E**

Sheet: **Planning Diagrams**

Sheet #: **D07**

Scale: **Sheet Size A1 @ 1:100**

Client Name: **Morris**

Project Address: **2 Flanagan Road  
Applecross**

RA Job #: **RA\_2502\_Morris**

**RA**

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**1 Overshadowing Diagram**  
 SCALE: 1:100



0m 2m 4m 6m 8m 10m

VISUAL SCALE 1:100 @ A1

**R-CODE - R12.5  
ZONE - RESIDENTIAL  
PRECINCT PLAN - NO**

**ALL DESIGN WORKS ARE SUBJECT TO AN ENGINEERING  
ASSESSMENT OF EXISTING BUILDING AND ENERGY  
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