

# FRATELLI GROUP

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## SITE COVERAGE

ZONED R20  
% ALLOWED 50%  
SITE AREA 547.34m<sup>2</sup>  
SITE COV. AREA 227.68m<sup>2</sup>  
**SITE COV. = 41.6%**

**TERMITE TREATMENT TO BE IN ACCORDANCE N.C.C. 2019 PART 1.0.7 PART 2.1.1 & PART 3.1.4 USING THE TERMICO MANAGEMENT SYSTEM**

**NOTE: SET DOWN SHOWER RECESS BASE 30mm & FIT REFLUX VALVE.**

**STORMWATER DISPOSAL BY BUILDER TO COUNCIL REQUIREMENTS (SOAKWELLS)**

## NOTE: BUSH FIRE ATTACK LEVEL NO-12.5 REQ.

- 1- PROVIDE S/STEEL, BRONZE OR ALUMINIUM MESH TO VENTS & WEEPHOLES
- 2- PROVIDE WINDOW/SLIDING DOOR GLAZING AND FLYSCREEN TO COMPLY W/ BAL 12.5
- 3- PROVIDE SOLID DOOR (MIN 35mm) TO ENTRY & GARAGE SHOPPER DOOR.
- 4- PROVIDE NON COMBUSTIBLE MATERIALS EXTERNALLY.  
PLASTIC STRIPS & TIMBER BARGES & SCRIBES ACCEPTABLE
- 5- GABLE LININGS TO BE 6mm EXCLUDING O/HANGS, EAVES, PORCHES, ALFRESCOS & CARPORTS.
- 6- PROVIDE SARKING (FOIL INSULATION) TO ROOF.
- 7- PROVIDE MESH TO FLUMES.
- 8- IF APPLICABLE, EVAPORATIVE A/C SHALL HAVE NON COMBUSTIBLE COVERS W/ MESH.
- 9- PROVIDE EMBER SEALS TO GARAGE SECTIONAL DOOR.

Soak Well Type	No.	Capacity
SW 1500x1200	1	2.1 m3
SW 1500x1500	1	2.7 m3
<b>Total Capacity</b>		<b>4.8 m3</b>
Roof Area GF		345.1 m <sup>2</sup>
Total Area		345.1 m <sup>2</sup>
Capacity Required (Area x 0.0125)		4.3 m3
Extra Capacity Provided		0.5 m3

**NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE**

## Paved & Grano Areas

ALFRESCO	12.00
B'PAVED DRIVEWAY	64.63
PORCH	2.32
<b>Total</b>	<b>78.95 m<sup>2</sup></b>

## GROUND COVER

SANDY / GRASS / WEED

COUNCIL: MELVILLE	PROJECT: ELITE SPECIFICATION CUSTOM	OWNER(S): SUBRAMANIAN																																
<table border="1"> <thead> <tr> <th>REV</th> <th>DETAILS</th> <th>DWN DATE</th> <th>CHK</th> <th>REV</th> <th>DETAILS</th> <th>DWN DATE</th> <th>CHK</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>WD</td> <td>PD-E 09.09.25</td> <td>SB</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>02</td> <td>VO-1</td> <td>LM 15.09.25</td> <td>-</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>03</td> <td>VO 3</td> <td>AP 21.11.25</td> <td>SB</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV	DETAILS	DWN DATE	CHK	REV	DETAILS	DWN DATE	CHK	01	WD	PD-E 09.09.25	SB					02	VO-1	LM 15.09.25	-					03	VO 3	AP 21.11.25	SB					ADDRESS: LOT 2 #21b LILIAN AVENUE APPLECROSS	JOB NO: FH394 SHEET 01 of 09 REV No: 03
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OWNER: DATE:	BUILDER: DATE:	SITE PLAN SCALE:																																

## SERVICE LEGEND

- POWER**
- CONSUMER POLE ○ CP
  - POWER POLE ○ PP
  - LIGHT POLE ○ LP
  - STAY POLE ○ SP
  - S. WIRE ANCHOR ○ SWA
  - UNI PILLAR ☒
  - EXPOSED CABLES ○ EC
- GAS**
- PRE-LAID CONN. ○ GPL
  - METER □ GM
- SEWERAGE**
- MANHOLE ○ SMH
  - INSPECT. SHAFT ○ IS
  - INSPECT. OPENING ○ IO
  - HOUSE CONNECTION ○ HC
  - HOUSE CONN. INDICATOR ○ HCI
  - INSPECT. SHAFT CONNECTION ○ ISC
- TELE.**
- PIT □ TEL
  - PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
  - GULLY PIT □
  - LOT PIT ○ LDP
  - HOUSE CONN. ○ DHC
  - SIDE ENTRY PIT □
  - COMBINATION ENTRY PIT □
- WATER**
- STOP VALVE ○ WSV
  - HYDRANT ○ HY
  - FLUSH POINT ○ FP
  - WATER TAP ○ WTP
  - WATER METER ○ M
  - PRE-LAID CONN. ○ WPL
- SURVEY**
- DATI IM NAIL ◆
  - ID ○ PF
  - JR BED ○ PD
  - PG
  - UND ○ STF

## RECORDS

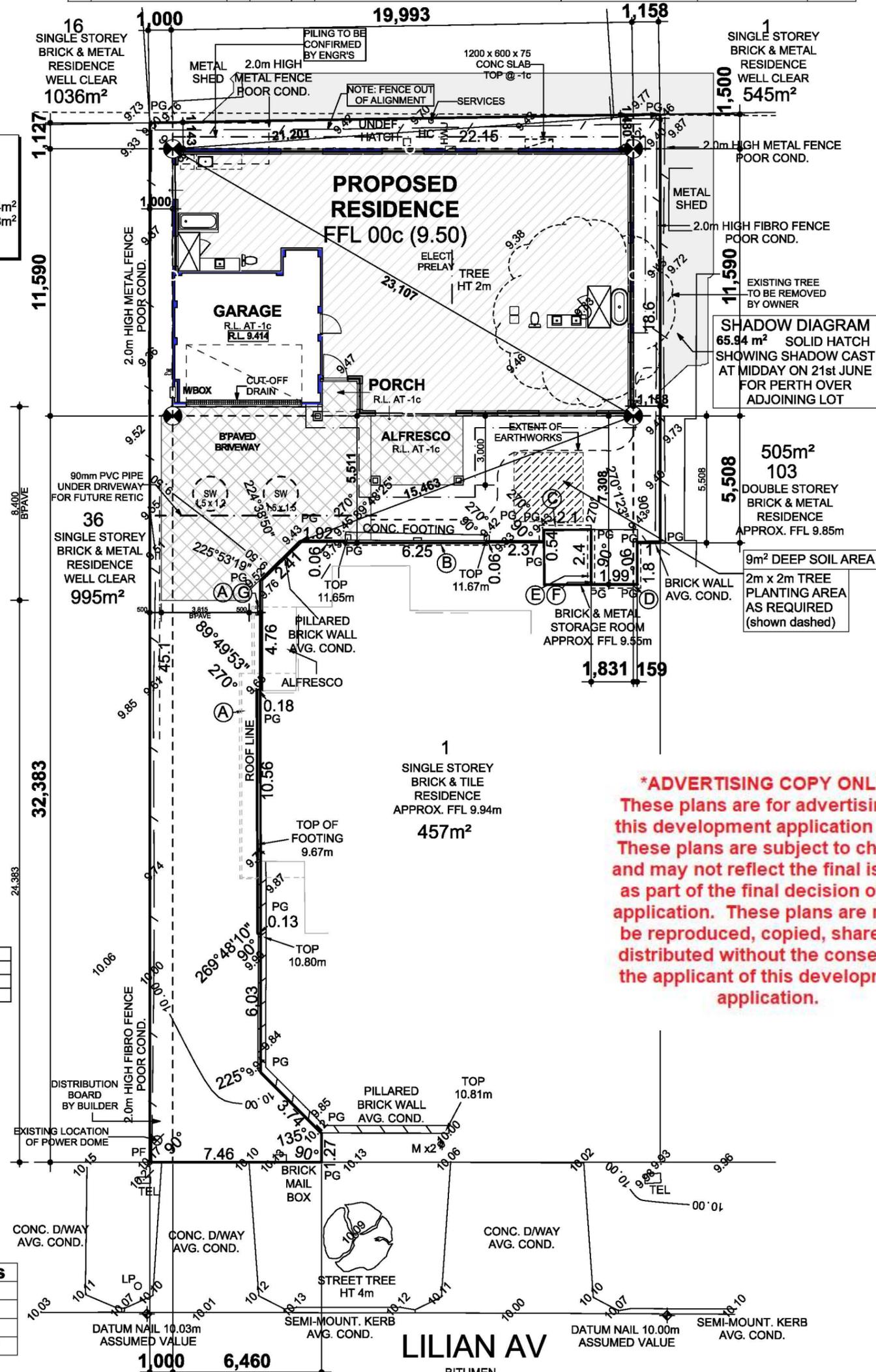
TUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
AGE	✓			

S/S	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
TELE.	✓			
DRAINAGE				✓
POWER	✓			
O/H				✓

AREA: ESTAB 03/2013  
COASTAL DISTANCE 1.5-10km  
LOT: 2  
AREA: 546 m<sup>2</sup>  
APPROX. AHD - 7.12m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY  
SEWER INVERT LEVEL 7.35  
SEWER BROUGHT UP 0.40  
DEPTH TO CONNECTION 1.94



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NOTE: BOUNDARY SUBJECT TO MATERIAL CHANGE AND WAPC APPROVAL.

NOTE: INTRUSION EASEMENT (A) (B) (C) (D)  
NOTE: PARTY WALL EASEMENT (E) (F) (G)

TITLE : FEATURE SURVEY	LOT : 2 No. 21/B LILIAN AV
CLIENT :	SUBURB : APPLECROSS
BUILDER : FRATELLI HOMES (WA)	SSP : 24477
	AUTHORITY : CITY OF MELVILLE
	C/T : 1963/766
	UBD REF : 307 M 14
	GPS : S 32.02792° E 115.82409°
	5 0 2.5 5 10 15
SHEET 1 of 1	BUILDER'S REF FH394
SURVEYED 13/08/25	SCALE @ A3 1:200
DWG No 54314-01-100	REV A

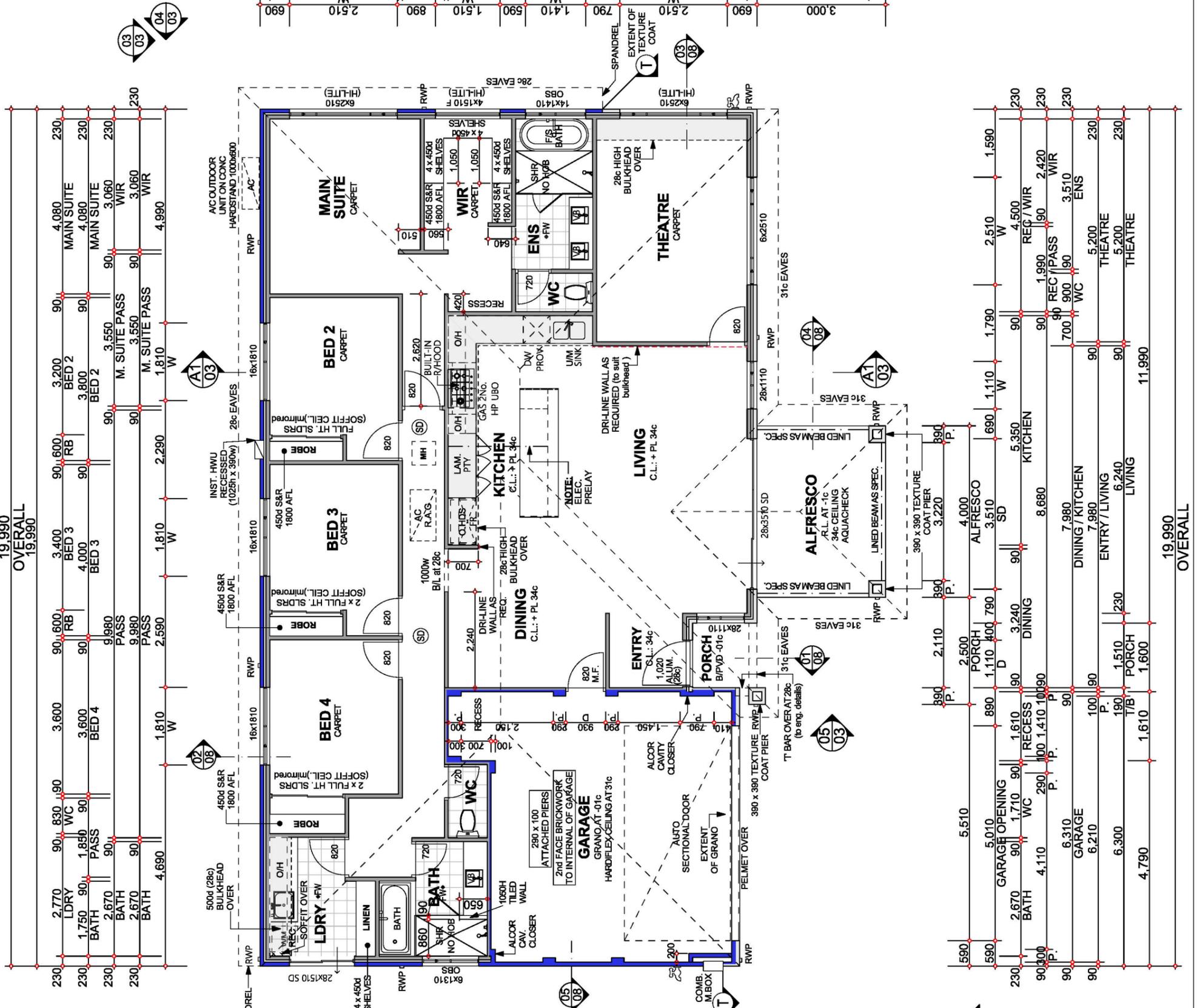
**LINKS SURVEYING**  
P: (08) 9354 8511  
W: www.linkssurveying.com.au  
E: info@linkssurveying.com.au

NOTE: This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

**NOTE:**  
 -230mm CAVITY DOUBLE BRICK  
 -EXT. WALLS 2c FACE BRICK (1600x90x60mm)  
 -INT. WALLS PLASTERED 90mm BRICK  
 -FRONT ELEVATION / PART REAR  
 -ACRYLIC TEXTURE COAT (EXTENT AS PER PLANS)  
 -ALL STRUCTURAL TIMBER F17 TREATED (7mm)  
 -RWP'S INDICATIVE ONLY & FINAL POSITION  
 -DIMENSIONS DISAGREE FOR EAVE HEIGHTS  
 -REFER TO DRAWINGS FOR EAVE HEIGHTS &  
 -HARDIFLEX TO EXTERNAL CEILINGS &  
 -EAVE LININGS UNLESS OTHERWISE NOTED  
 -ALL DIMENSIONS MEASURED TO BWK ONLY,  
 -DOES NOT INCLUDE PLASTER  
 -28c HIGH INTERNAL DOORS & OPENINGS THROUGHOUT

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**NOTE:**  
 31c +PLATE CEILING LEVEL NOTED OTHERWISE.  
 METAL DECK ROOF AT 25° EAVE AT 500mm  
 02c DOUBLE HEIGHT FACE BWK & ACRYLIC TEXTURE COAT FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.



**NOTE:**  
 MAIN FLOORING INCLUDED AS PER SPEC. TO BE CLARIFIED AT PRESTART.

**NOTE:**  
 SET DOWN SHOWER RECESS BASE 30mm & FIT REFLUX VALVE.

**NOTE:**  
 SKYLIGHT FURNISHING INCLUDED REFER TO ADDENDA

**NOTE:**  
 SKYLIGHT SIZE & POSITION TO BE DISCUSSED AT PRESTART.

**NOTE:**  
 DUCTED REVERSE CYCLE AIR CONDITIONING SYSTEM AS SPECIFIED.

**NOTE:**  
 WINDOW FURNISHINGS INCLUDED REFER TO ADDENDA

**NOTE:**  
 EHEAD AT 2400H BY CEILING FIXER SHOWN SHADED

**NOTE:**  
 NOISE ATTENTION REQUIREMENTS TO BE INCLUDED PENDING ASSESSMENT REPORT

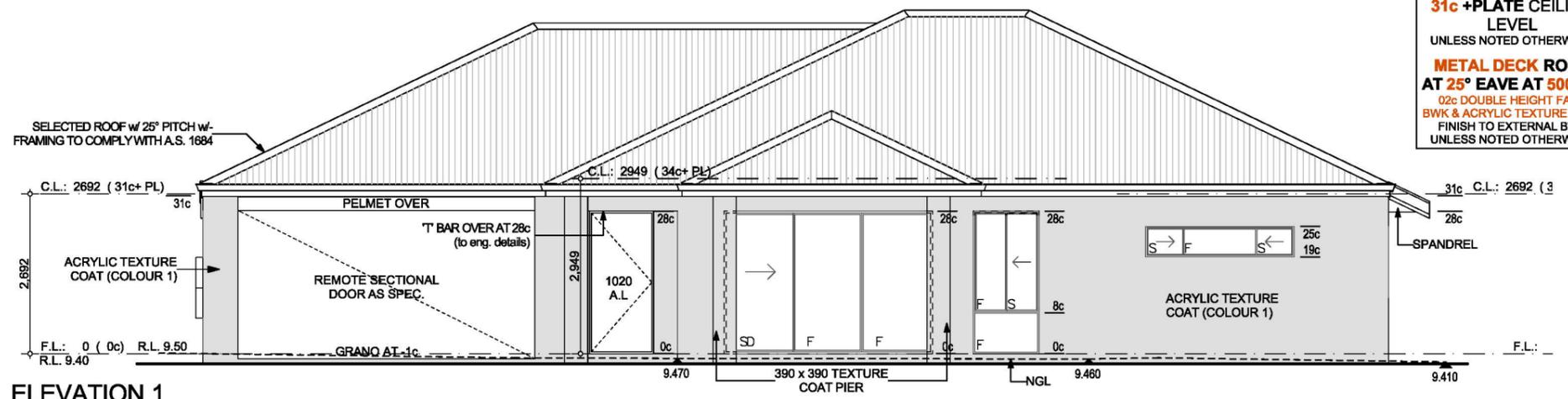
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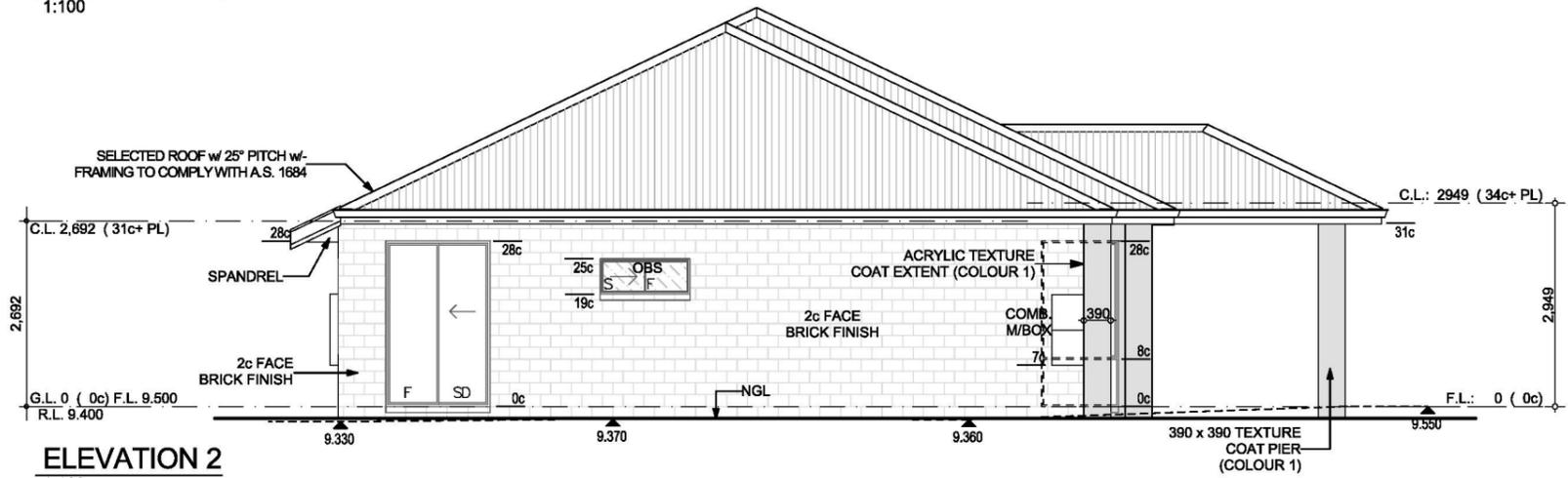
GR. FLOOR	187.99	65.16	COUNCIL: MELVILLE	PROJECT: ELITE SPECIFICATION CUSTOM	DWN DATE	CHK	REV	DETAILS	DWN DATE	CHK
GARAGE	38.18									
PORCH	2.48									
ALFRESCO	12.00									
<b>TOTAL AREA</b>	<b>240.65 m²</b>									

ADDRESS:	LOT 2 #21b LILIAN AVENUE APPLECROSS
JOB NO:	FH394
SHEET	02 of 09
REV NO:	03
FLOOR PLAN	SCALE: 1:100

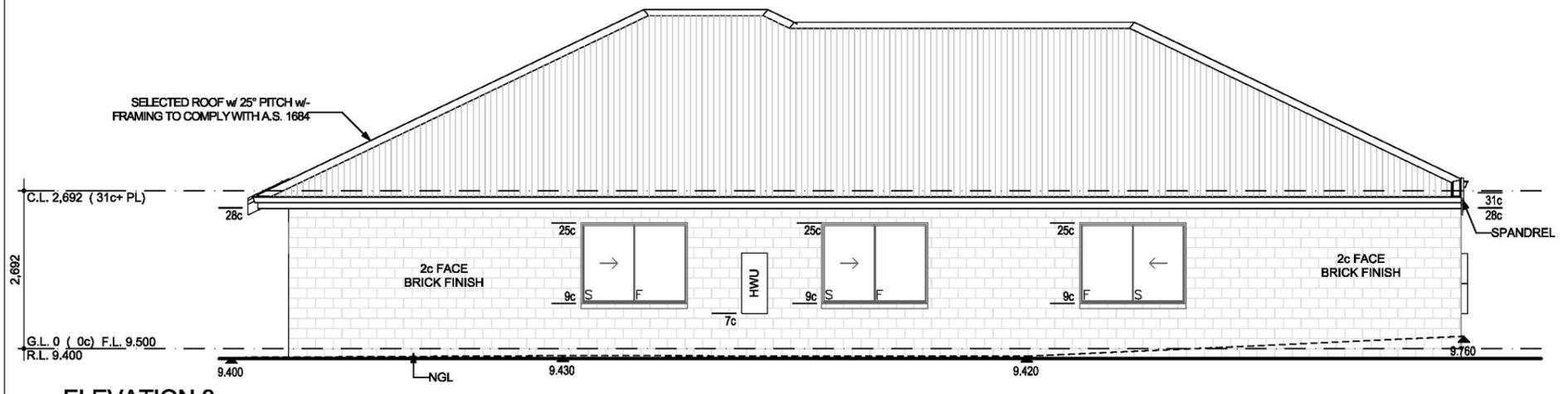
**NOTE:**  
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**AT 25° EAVE AT 500mm**  
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 FINISH TO EXTERNAL BWK  
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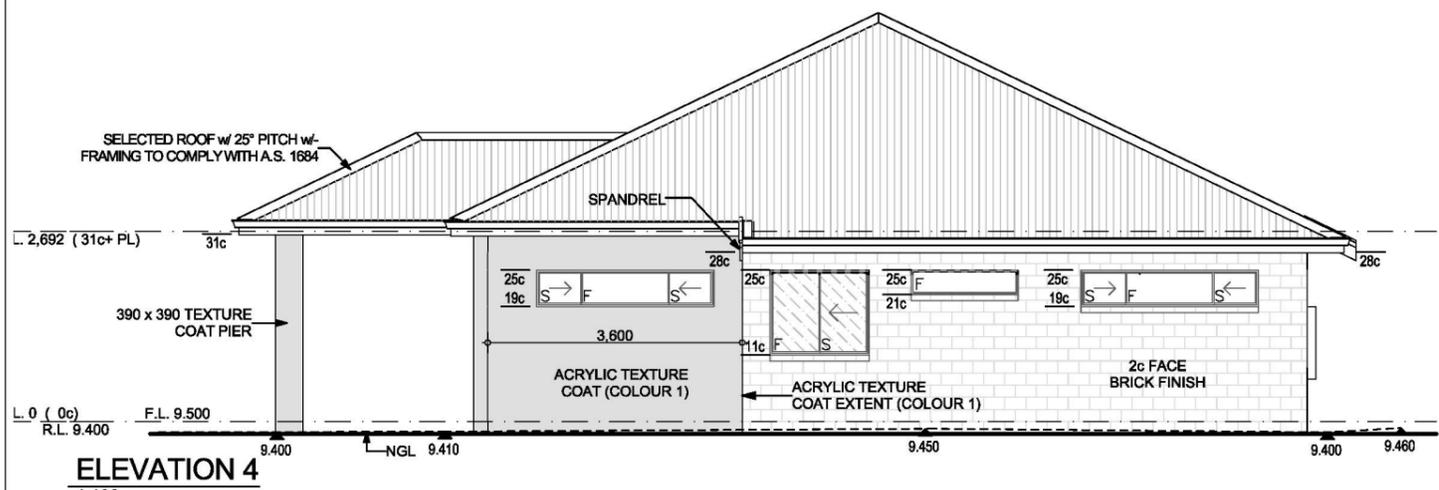
**ELEVATION 1**  
1:100



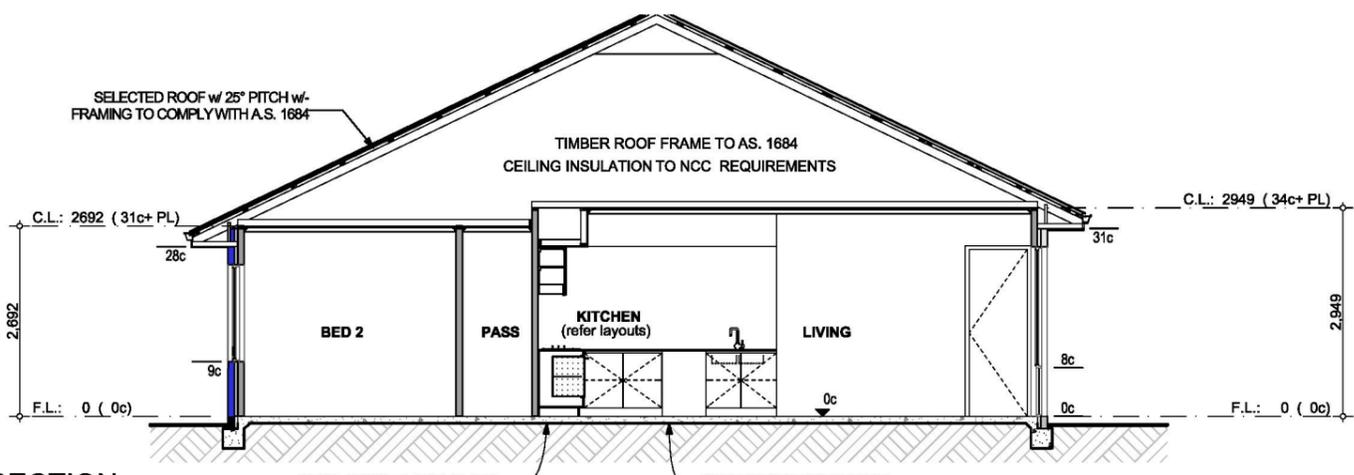
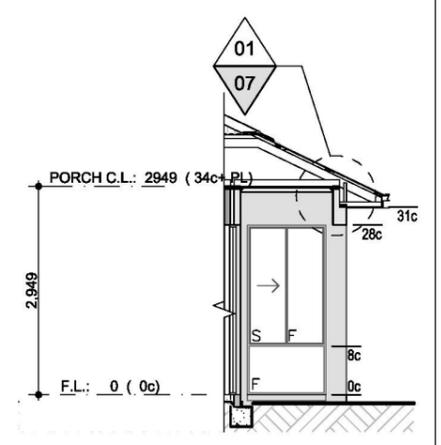
**ELEVATION 2**  
1:100



**ELEVATION 3**  
1:100



**ELEVATION 4**  
1:100



**A1 SECTION**  
1:100

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REV	DETAILS	DWN	DATE	CHK	REV
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OWNER..... DATE.....				ADDRESS:	
BUILDER..... DATE.....				LOT 2 #21b LILIAN AVENUE APPLECROSS	
JOB NO: FH394		SHEET 03 of 09		REV No:	
ELEVATIONS / SECTION		SCALE: 1:100		<b>03</b>	

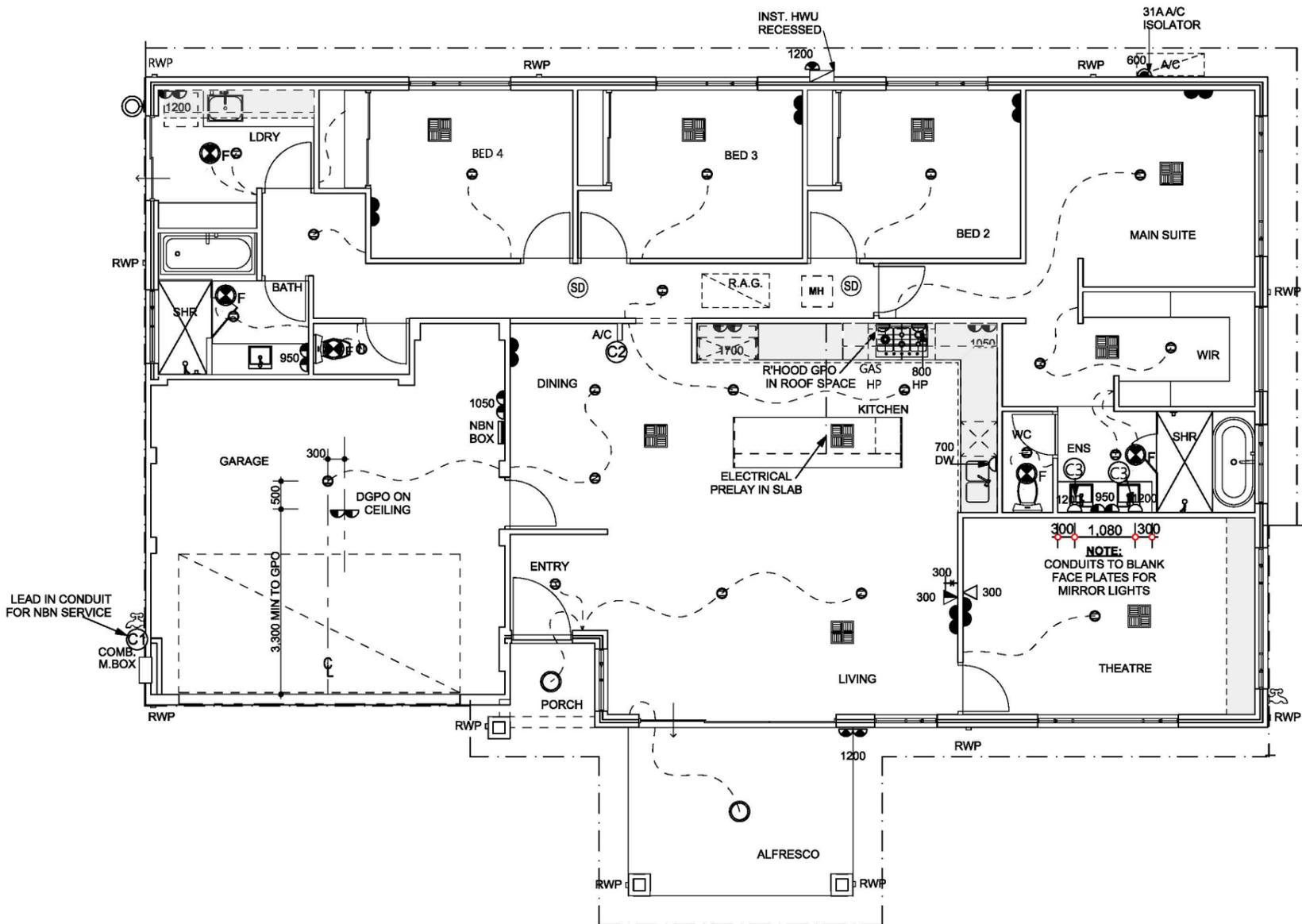
**NOTE:**  
 -ALL LIGHT SWITCHES TO BE 1300mm AFL  
 -FINAL POSITION OF ELECTRICAL ITEMS TO BE DECIDED ONSITE BY ELECTRICIAN.

**SPLIT AIR CONDITIONING NOTE:**  
 -ALL DRAWINGS READ IN CONJUNCTION WITH FLOOR PLANS & A/C CONTRACTOR DESIGN PLANS.  
 -LOCATIONS MAY VARY ON SITE & ARE SUBJECT TO THE A/C CONTRACTORS DISCRETION.  
 -POWER SUPPLY & ISOLATION SWITCH LOCATIONS T.B.A. BY A/C CONTRACTOR

**NOTE:**  
 -ALLOWANCE FOR ADDITIONAL 18 x DOWNLIGHTS , POSITIONS TBC @ PRESTART

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ELECTRICAL LEGEND		
No.	SYMBOL	TYPE
1	□	A/C CONT. LOCATION
9	■	Air Conditioning Duct
2	△	BLANK FACE PLATE (ht noted)
1	⊙	Conduit to A/C
2	⊕	Conduit to blank face plate
1	▽	DATAPOINT
7	⌒	DOUBLE GPO @ 300 AFL
7	⌒	DOUBLE GPO @ NOTED HT
1	⌒	DOUBLE WATER PROOF GPO
5	⊗	EXHAUST FAN FLUMED
2	○	EXTERNAL LIGHT
1	⊙	EXTERNAL WALL LIGHT @ 1800 AFL
1	⊕	LEAD IN CONDUIT FOR NBN
22	●	LED DOWN-LIGHT
1	—	NTD - Network Termination Device
1	▽	PHONE POINT
3	△	SINGLE GPO @ NOTED HT
1	⌒	SINGLE WATER PROOF GPO
2	⊙	Smoke Detector
1	⚡	TV POINT
1	⌒	WEATHERPROOF A/C ISOLATOR



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COUNCIL: MELVILLE

PROJECT: ELITE SPECIFICATION CUSTOM

OWNER(S):

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03	VO 3	AP	21.11.25	SB					

ADDRESS:  
**LOT 2 #21b  
 LILIAN AVENUE  
 APPLECROSS**

OWNER..... DATE.....

BUILDER..... DATE.....

JOB NO: **FH394** SHEET 04 of 09 REV No:

ELECTRICAL PLAN SCALE: 1:100 **03**