

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.



LOT 110/111

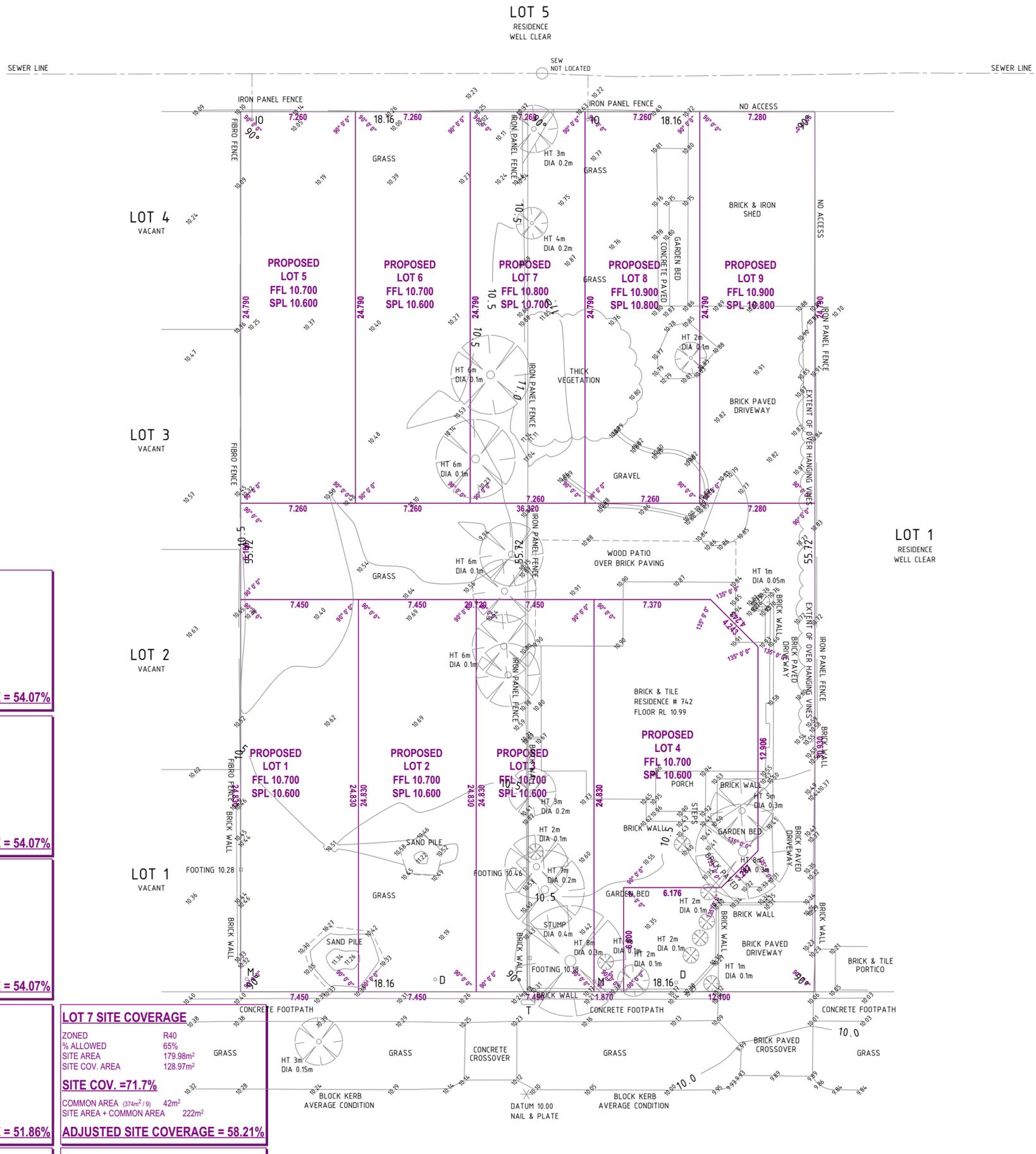
1,012m²/1,012m²

SERVICE INFORMATION

AREA ESTABLISHED
SEWERAGE YES DEPTH N/A
WATER YES PRELAI L
ELECTRICAL YES UG
TELECOM YES
GAS TBC
DRAFTED DF SURVEYOR MR

SERVICE LEGEND

- SURVEY**
- ★ DATUM
 - PF PEG FOUND
 - PG PEG GONE
- SEWERAGE**
- SEW SEWER MANHOLE
 - IO INSPECTION OPENING
 - IS INSPECTION SHAFT
- WATER**
- M WATER METER
 - H HYDRANT
 - F FLUSH POINT
 - V STOP VALVE
- ELECTRICAL**
- D POWER DOME/PILLAR
 - P POWER POLE
 - L LAMP POST
 - C CONSUMER POLE
 - A STAY WIRE ANCHOR
- STORMWATER**
- S M STORMWATER MANHOLE
 - G GRATE
 - S E SIDE ENTRY PIT
- GAS**
- G GAS METER
 - S SERVICE VALVE
- TELECOM**
- C P COMMUNICATION PIT
 - T M TELSTRA MANHOLE
- SEWER CONNECTION POSITION**
- SEWER NOT LOCATED AT TIME OF SURVEY



LOT 1 SITE COVERAGE

ZONED R40
% ALLOWED 65%
SITE AREA 184.98m²
SITE COV. AREA 122.50m²
SITE COV. =66.2%
COMMON AREA (374m²/9) 42m²
SITE AREA + COMMON AREA 227m²
ADJUSTED SITE COVERAGE = 54.07%

LOT 2 SITE COVERAGE

ZONED R40
% ALLOWED 65%
SITE AREA 184.98m²
SITE COV. AREA 122.50m²
SITE COV. =66.2%
COMMON AREA (374m²/9) 42m²
SITE AREA + COMMON AREA 227m²
ADJUSTED SITE COVERAGE = 54.07%

LOT 3 SITE COVERAGE

ZONED R40
% ALLOWED 65%
SITE AREA 184.98m²
SITE COV. AREA 122.50m²
SITE COV. =66.2%
COMMON AREA (374m²/9) 42m²
SITE AREA + COMMON AREA 227m²
ADJUSTED SITE COVERAGE = 54.07%

LOT 4 SITE COVERAGE

ZONED R40
% ALLOWED 65%
SITE AREA 194.19m²
SITE COV. AREA 122.26m²
SITE COV. =63.0%
COMMON AREA (374m²/9) 42m²
SITE AREA + COMMON AREA 236m²
ADJUSTED SITE COVERAGE = 51.86%

LOT 5 SITE COVERAGE

ZONED R40
% ALLOWED 65%
SITE AREA 179.98m²
SITE COV. AREA 128.97m²
SITE COV. =71.7%
COMMON AREA (374m²/9) 42m²
SITE AREA + COMMON AREA 222m²
ADJUSTED SITE COVERAGE = 58.21%

LOT 6 SITE COVERAGE

ZONED R40
% ALLOWED 65%
SITE AREA 179.98m²
SITE COV. AREA 128.97m²
SITE COV. =71.7%
COMMON AREA (374m²/9) 42m²
SITE AREA + COMMON AREA 222m²
ADJUSTED SITE COVERAGE = 58.21%

LOT 7 SITE COVERAGE

ZONED R40
% ALLOWED 65%
SITE AREA 179.98m²
SITE COV. AREA 128.97m²
SITE COV. =71.7%
COMMON AREA (374m²/9) 42m²
SITE AREA + COMMON AREA 222m²
ADJUSTED SITE COVERAGE = 58.21%

LOT 8 SITE COVERAGE

ZONED R40
% ALLOWED 65%
SITE AREA 179.98m²
SITE COV. AREA 128.97m²
SITE COV. =71.7%
COMMON AREA (374m²/9) 42m²
SITE AREA + COMMON AREA 222m²
ADJUSTED SITE COVERAGE = 58.21%

LOT 10 SITE COVERAGE

ZONED R40
% ALLOWED 65%
SITE AREA 180.47m²
SITE COV. AREA 128.97m²
SITE COV. =71.5%
COMMON AREA (374m²/9) 42m²
SITE AREA + COMMON AREA 222m²
ADJUSTED SITE COVERAGE = 58.08%

CP10 SITE COVERAGE

ZONED R40
% ALLOWED 55%
SITE AREA 374.24m²
SITE COV. AREA 0.00m²
SITE COV. =0.0%

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CLIENT: ACTION DEVELOPMENTS
ADDRESS: LOT 110/111 (#740/742) CANNING HIGHWAY, APPECROSS
PLAN: P5059 C/T: 1090/820/1101/655 AUTHORITY: CITY OF MELVILLE
DATE: 24/09/2024 JOB REFERENCE: TSA5860 - FS
H. Grid : LOCAL Local level : 10.00 A.H.D. value derived from : Distance from Datum :
V. Datum : LOCAL A.H.D. level :
VERSION DATE DESCRIPTION APPROVED BY

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LOT 110/111

1,012m²/1,012m²

SERVICE INFORMATION

AREA ESTABLISHED

SEWERAGE YES DEPTH N/A

WATER YES PRELAD L

ELECTRICAL YES UG

TELECOM YES

GAS YES TBC

DRAFTED DF SURVEYOR MR

SERVICE LEGEND

SURVEY

★ DATUM

○ PF PEG FOUND

○ PG PEG GONE

SEWERAGE

○ SEW SEWER MANHOLE

○ IO INSPECTION OPENING

○ IS INSPECTION SHAFT

WATER

○ M WATER METER

○ H HYDRANT

○ F FLUSH POINT

○ V STOP VALVE

ELECTRICAL

○ D POWER DOME/PILLAR

○ P POWER POLE

○ L LAMP POST

○ C CONSUMER POLE

○ A STAY WIRE ANCHOR

STORMWATER

○ S STORMWATER MANHOLE

○ G GRATE

○ SE SIDE ENTRY PIT

GAS

○ G GAS METER

○ S SERVICE VALVE

TELECOM

○ T COMMUNICATION PIT

○ THM TELSTRA MANHOLE

SEWER CONNECTION POSITION

SEWER NOT LOCATED AT TIME OF SURVEY

(#738) - LOT 1 - TOTAL BOUNDARY WALL LENGTH

LOT ZONING	R40
NEIGHBOUR'S LOT AREA	182.00m ²
SHADOW CAST ONTO LOT	97.01m ²
AREA OVERSHADOWED	53.30%
OVERSHADOWING PERMITTED AS PER R-CODES IS 35%	

(#738) - LOT 2 - TOTAL BOUNDARY WALL LENGTH

LOT ZONING	R40
NEIGHBOUR'S LOT AREA	191.00m ²
SHADOW CAST ONTO LOT	99.31m ²
AREA OVERSHADOWED	50.41%
OVERSHADOWING PERMITTED AS PER R-CODES IS 35%	

(#738) - LOT 3 - TOTAL BOUNDARY WALL LENGTH

LOT ZONING	R40
NEIGHBOUR'S LOT AREA	251.00m ²
SHADOW CAST ONTO LOT	51.16m ²
AREA OVERSHADOWED	20.38%
OVERSHADOWING PERMITTED AS PER R-CODES IS 35%	

(#738) - OVERALL

LOT ZONING	R40
NEIGHBOUR'S LOT AREA	1,012.00m ²
SHADOW CAST ONTO LOT	317.73m ²
AREA OVERSHADOWED	31.40%
OVERSHADOWING PERMITTED AS PER R-CODES IS 35%	



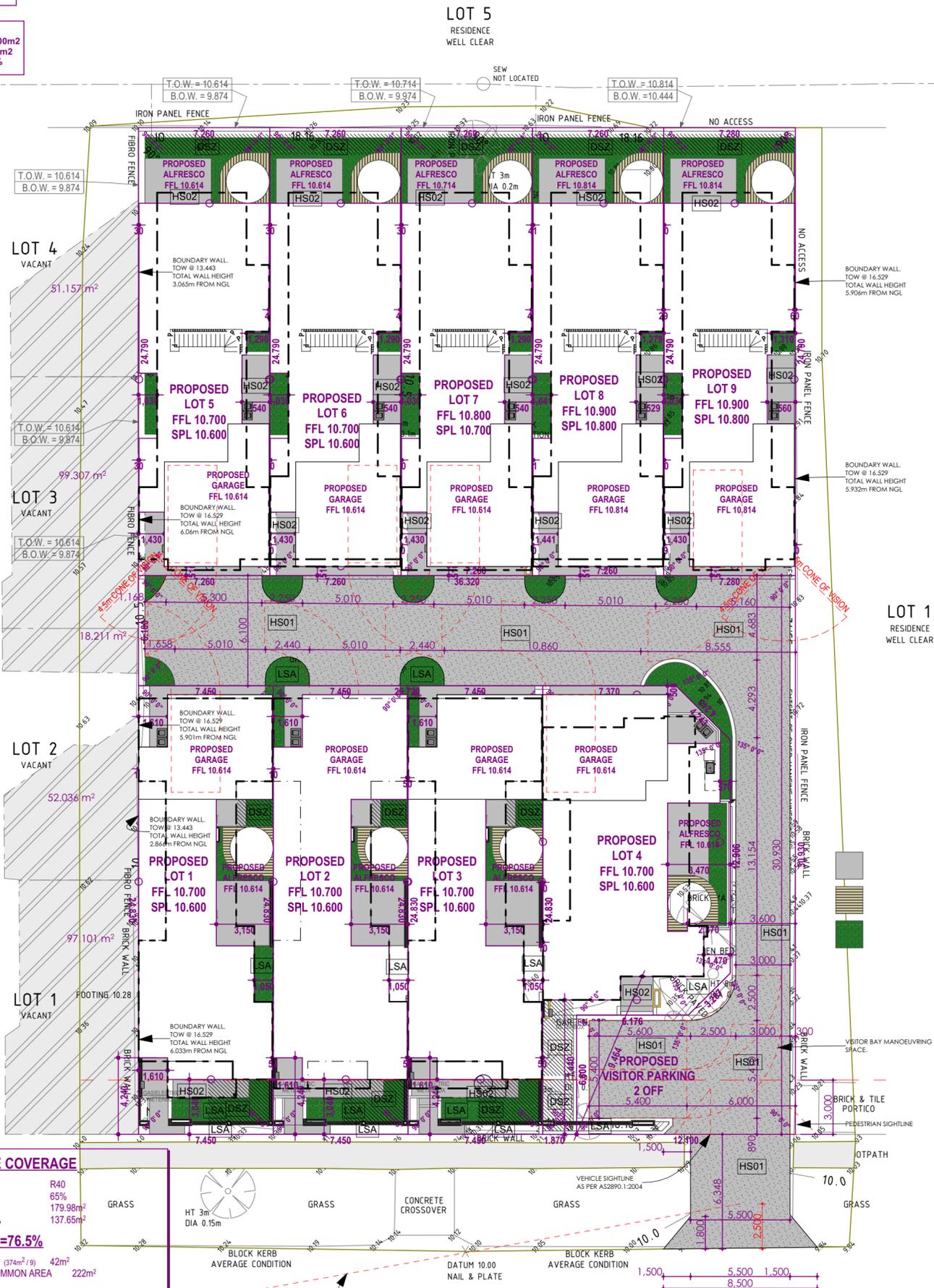
DSZ 1 SMALL TREE REQUIRED PER UNIT WITH 9m² DEEP SOIL ZONE

HS01 CONCRETE DRIVEWAY AND CROSSOVER BY BUILDER, CROSSOVER TO LOCAL GOVERNMENTS REQUIREMENTS

HS02 BPAVING @ -1c

LSA PROPOSED LANDSCAPING AREA

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.



LOT 1 SITE COVERAGE

ZONED	R40
% ALLOWED	65%
SITE AREA	184.98m ²
SITE COV. AREA	144.18m ²
SITE COV. = 77.9%	
COMMON AREA (374m ² / 9)	42m ²
SITE AREA + COMMON AREA	227m ²
ADJUSTED SITE COVERAGE = 63.64%	

LOT 2 SITE COVERAGE

ZONED	R40
% ALLOWED	65%
SITE AREA	184.98m ²
SITE COV. AREA	141.46m ²
SITE COV. = 76.5%	
COMMON AREA (374m ² / 9)	42m ²
SITE AREA + COMMON AREA	227m ²
ADJUSTED SITE COVERAGE = 62.44%	

LOT 3 SITE COVERAGE

ZONED	R40
% ALLOWED	65%
SITE AREA	184.98m ²
SITE COV. AREA	141.46m ²
SITE COV. = 76.5%	
COMMON AREA (374m ² / 9)	42m ²
SITE AREA + COMMON AREA	227m ²
ADJUSTED SITE COVERAGE = 62.44%	

LOT 4 SITE COVERAGE

ZONED	R40
% ALLOWED	65%
SITE AREA	194.19m ²
SITE COV. AREA	138.63m ²
SITE COV. = 71.4%	
COMMON AREA (374m ² / 9)	42m ²
SITE AREA + COMMON AREA	236m ²
ADJUSTED SITE COVERAGE = 58.80%	

LOT 5 SITE COVERAGE

ZONED	R40
% ALLOWED	65%
SITE AREA	179.98m ²
SITE COV. AREA	137.65m ²
SITE COV. = 76.5%	
COMMON AREA (374m ² / 9)	42m ²
SITE AREA + COMMON AREA	222m ²
ADJUSTED SITE COVERAGE = 62.13%	

LOT 6 SITE COVERAGE

ZONED	R40
% ALLOWED	65%
SITE AREA	179.98m ²
SITE COV. AREA	137.65m ²
SITE COV. = 76.5%	
COMMON AREA (374m ² / 9)	42m ²
SITE AREA + COMMON AREA	222m ²
ADJUSTED SITE COVERAGE = 62.13%	

LOT 7 SITE COVERAGE

ZONED	R40
% ALLOWED	65%
SITE AREA	179.98m ²
SITE COV. AREA	137.65m ²
SITE COV. = 76.5%	
COMMON AREA (374m ² / 9)	42m ²
SITE AREA + COMMON AREA	222m ²
ADJUSTED SITE COVERAGE = 62.13%	

LOT 8 SITE COVERAGE

ZONED	R40
% ALLOWED	65%
SITE AREA	179.98m ²
SITE COV. AREA	137.65m ²
SITE COV. = 76.5%	
COMMON AREA (374m ² / 9)	42m ²
SITE AREA + COMMON AREA	222m ²
ADJUSTED SITE COVERAGE = 62.13%	

LOT 10 SITE COVERAGE

ZONED	R40
% ALLOWED	65%
SITE AREA	180.47m ²
SITE COV. AREA	137.65m ²
SITE COV. = 76.3%	
COMMON AREA (374m ² / 9)	42m ²
SITE AREA + COMMON AREA	222m ²
ADJUSTED SITE COVERAGE = 61.99%	

CP10 SITE COVERAGE

ZONED	R40
% ALLOWED	55%
SITE AREA	374.24m ²
SITE COV. AREA	0.00m ²
SITE COV. = 0.0%	

LANDSCAPING NOTES:

TYPE A - LOTS 1 - 3
TYPE B - LOT 4
TYPE C - LOTS 5 - 9

C1.1.1 - PRIVATE OPEN SPACE
TYPE A - 30m² REQUIRED, 25.53m² @ REAR & 14.68m² @ FRONT
TOTAL 40.21m²
TYPE B - 35m² REQUIRED, 25m² @ REAR & 10.90m² @ BALCONY
TOTAL 40.21m²
TYPE C - 30m² REQUIRED, 30.49m² @ REAR

C1.2.1 - 15% TOTAL LANDSCAPING = 303.6m²
LANDSCAPING PROVIDED = 186.67m² FROM LOTS
= 51.39m² FROM CP
TYPE A - 184.98m² 15% = 27.75m², 10.6% 19.56m² PROVIDED
Additional soft landscaping from Vertical Gardens
6.6m² total soft landscaping = 14.14%
TYPE B - 194.19m² 15% = 29.13m², 16.73% 32.49m² PROVIDED
Additional Soft Landscaping from Vertical Garden
11.81m². Total soft landscaping = 22.81%
TYPE C - 179.98m² 15% = 27m², 10.61% 19.1m² PROVIDED

C1.2.2 - 30% FRONT LANDSCAPING = 32.69m², 46.38m² PROVIDED

C1.2.4 - DEEP SOIL ZONES ALLOWED FOR EACH DWELLING.

CLIENT:	
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PLAN:	CITY OF MELVILLE
DATE:	24/09/2024
V. Grid:	LOCAL
H. Datum:	LOCAL
VERSION:	DATE

TSA SURVEYS
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AREA	AREA	PERIMETER
FIRST FLOOR		
HOUSE AREA (Upper)	118.14	58.7
GROUND FLOOR		
ALFRESCO	9.18	12.3
GARAGE	32.76	52.0
HOUSE AREA (Ground)	91.34	62.0
STORE	4.80	8.8
TYPE 1A FIRST FLOOR		
BALCONY	2.39	11.6
HOUSE AREA (Upper)	117.22	64.0
TYPE 1A GROUND FLOOR		
ALFRESCO	11.30	13.5
GARAGE	33.28	23.2
HOUSE AREA (Ground)	84.24	45.9
PORCH	1.92	5.6
STORE	4.73	9.0
TYPE 1B FIRST FLOOR		
BALCONY	5.02	10.0
HOUSE AREA (Upper)	120.07	67.0
TYPE 1B GROUND FLOOR		
ALFRESCO	125.09	77.0
GARAGE	11.30	13.5
HOUSE AREA (Ground)	84.24	45.9
PORCH	1.92	5.6
STORE	4.73	9.0
TYPE 1C FIRST FLOOR		
BALCONY	7.49	13.0
HOUSE AREA (Upper)	117.22	64.0
TYPE 1C GROUND FLOOR		
ALFRESCO	11.30	13.5
GARAGE	33.28	23.2
HOUSE AREA (Ground)	84.24	45.9
PORCH	1.92	5.6
STORE	4.73	9.0
TYPE 2 FIRST FLOOR		
BALCONY	14.31	18.3
HOUSE AREA (Upper)	109.20	52.0
TYPE 2 GROUND FLOOR		
ALFRESCO	123.41	71.3
GARAGE	9.08	12.5
HOUSE AREA (Ground)	32.26	22.7
PORCH	83.89	56.4
STORE	3.02	7.0
TYPE 3A FIRST FLOOR		
BALCONY	134.10	110.5
HOUSE AREA (Upper)	116.22	58.7
TYPE 3A GROUND FLOOR		
ALFRESCO	232.44	117.4
GARAGE	9.18	12.3
HOUSE AREA (Ground)	91.34	50.6
PORCH	32.76	52.0
STORE	4.80	8.8
TYPE 3B FIRST FLOOR		
BALCONY	4.31	15.6
HOUSE AREA (Upper)	115.17	57.5
TYPE 3B GROUND FLOOR		
ALFRESCO	238.96	146.2
GARAGE	9.18	12.3
HOUSE AREA (Ground)	91.34	50.6
PORCH	32.76	52.0
STORE	4.80	8.8
TYPE 3C FIRST FLOOR		
BALCONY	4.31	15.6
HOUSE AREA (Upper)	115.17	57.5
TYPE 3C GROUND FLOOR		
ALFRESCO	276.16	189.4
GARAGE	9.18	12.3
HOUSE AREA (Ground)	91.34	50.6
PORCH	32.76	52.0
STORE	4.80	8.8
TOTAL	2,318.27 m²	1,498.8 m



LANDSCAPING

- PERMEABLE PAVING AS SELECTED
- TIMBER DECKING AS SELECTED
- GRASS / MULCH AS SELECTED
- DST - DEEP SOIL TONE FOR ORN. TREE TO BE PLANTED AS REQUIRED.
- SMALL BUSH AS SELECTED
- SMALL TREE AS SELECTED
- DST. TREE AS SELECTED
- SMALL FLOWER SHRUB AS SELECTED
- FLOWER SHRUB AS SELECTED



E02
E01
GROUND FLOOR
T100

ACTION DEVELOPMENTS
 SHAYNE STUURMAN
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 shayne@actiondevelopments.com.au

GENERAL NOTES
 THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNTIL ISSUED FOR CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS TO BRICKWORK.

DEVELOPMENT APPROVAL

PROJECT: **OASIS**
 PROJECT NO.: **FDD 241015 DA**

CLIENT: **WU**
 PROJECT ADDRESS: **LOT 110/111 (#740/742) CANNING HIGHWAY APPLECROSS**

DRAWING NAME: **GF OVERALL**
 5 of 17
 DATE: **26/11/2025** REVISION:
 DRAWING NO.:

A02.5
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PROJECT:

PROJECT NO.:

CLIENT:

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PROJECT ADDRESS:

LOT 110/111 (#740/742)

CANNING HIGHWAY

APPLECROSS

DRAWING NAME:

FF OVERALL

6 of 17

DATE:

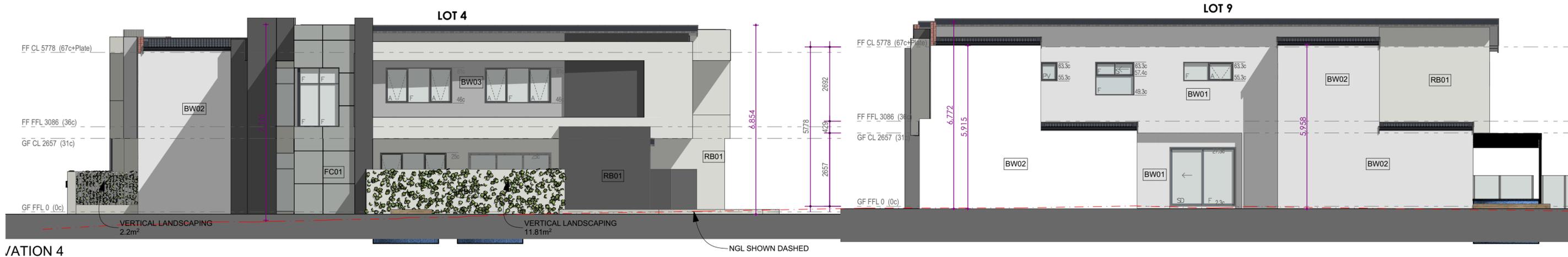
26/11/2025

REVISION:

DRAWING NO.:

A02.6





ELEVATION 4

- BA01 SELECTED GLASS BALUSTRADE
- BW01 SELECTED 2c FACE BRICKWORK
- BW02 SELECTED 2c FACE BRICKWORK
- BOUNDARY WALL
- BW03 SELECTED 1c FEATURE FACE BRICKWORK
- FC01 SELECTED JAMES HARDIE 'MATRIX' CLADDING
- RB01 SELECTED MAIN RENDER
- RB02 SELECTED CONTRASTING RENDER
- RB03 SELECTED POLISHED PLASTER
- SW01 SELECTED FEATURE BATTENS



ELEVATION 5

1:100



ELEVATION 6

1:100



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PROJECT:

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LOT 110/111 (#740/742)
CANNING HIGHWAY
APPLECROSS

DRAWING NAME:

ELEVATIONS OVERALL

15 of 17

DATE: REVISION:

26/11/2025

DRAWING NO.:

A02.15