

⊕	POWER DOME
⊙	POWER POLE
⊠	PHONE PITS
⊞	WATER CONN.
⊚	TP=10.00 TOP PILLAR/POST
⊛	TW=10.00 TOP WALL
⊜	TR=10.00 TOP RETAINING
⊝	TF=10.00 TOP FENCE

NOTE:
EASEMENT (VEHICLE ACCESS).
REG 14E OF THE STGR
SEE DOCUMENT

NOTE:
EASEMENT (PARTY WALL).
REG 14G OF THE STGR
SEE DOCUMENT

NOTE:
EASEMENT (INTRUSION).
REG 14H OF THE STGR
SEE DOCUMENT

NOTE:
EASEMENT (PEDESTRIAN ACCESS).
REG 14I OF THE STGR
SEE DOCUMENT

SSL 2 MISCLOSE
0.001 m

SSL 1 MISCLOSE
0.001 m

WARNING: /strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after demolition and removal of structures should be approved by your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

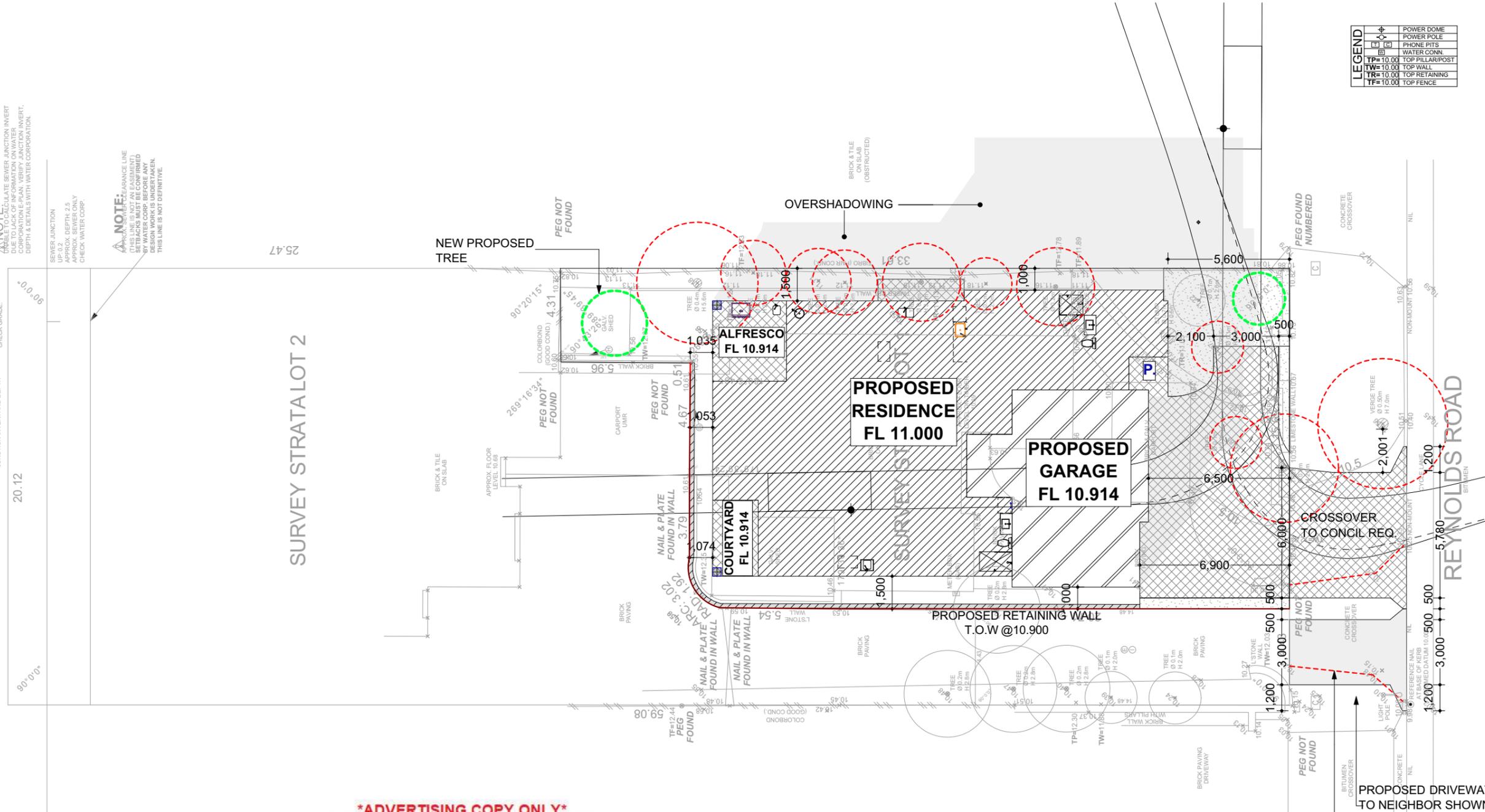
DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

NOTE:
ABLE TO CALCULATE SEWER JUNCTION INVERT CORPORATION E-PLAN. VERIFY JUNCTION INVERT, DEPTH & DETAILS WITH WATER CORPORATION.

NOTE:
DEEP SEWER JUNCTION FOR BUILDING AND PLUMBER CHECK GRADE.

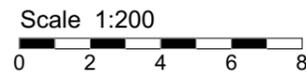
NOTE:
CHECK WATER CORPORATION FOR JUNCTION INVERT AND DEPTH

NOTE:
APPROX. SEWER CLEARANCE LINE SETBACKS MUST BE CONFIRMED BY WATER CORP. BEFORE ANY DESIGN WORK IS UNDERTAKEN. THIS LINE IS NOT DEFINITIVE.



LEGEND	
	LANDSCAPING AREA
	GRANO AREA
	TREE TO BE REMOVED
	NEW PROPOSED TREE

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COTTAGE SURVEYS
87-89 Guthrie Street Osborne Park, WA 6017
PO Box 1611 Osborne Park Business Centre WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

ADDRESS #56A Reynolds Road
SUBURB Mt Pleasant
LGA CITY OF MELVILLE
DRAWN T. Do

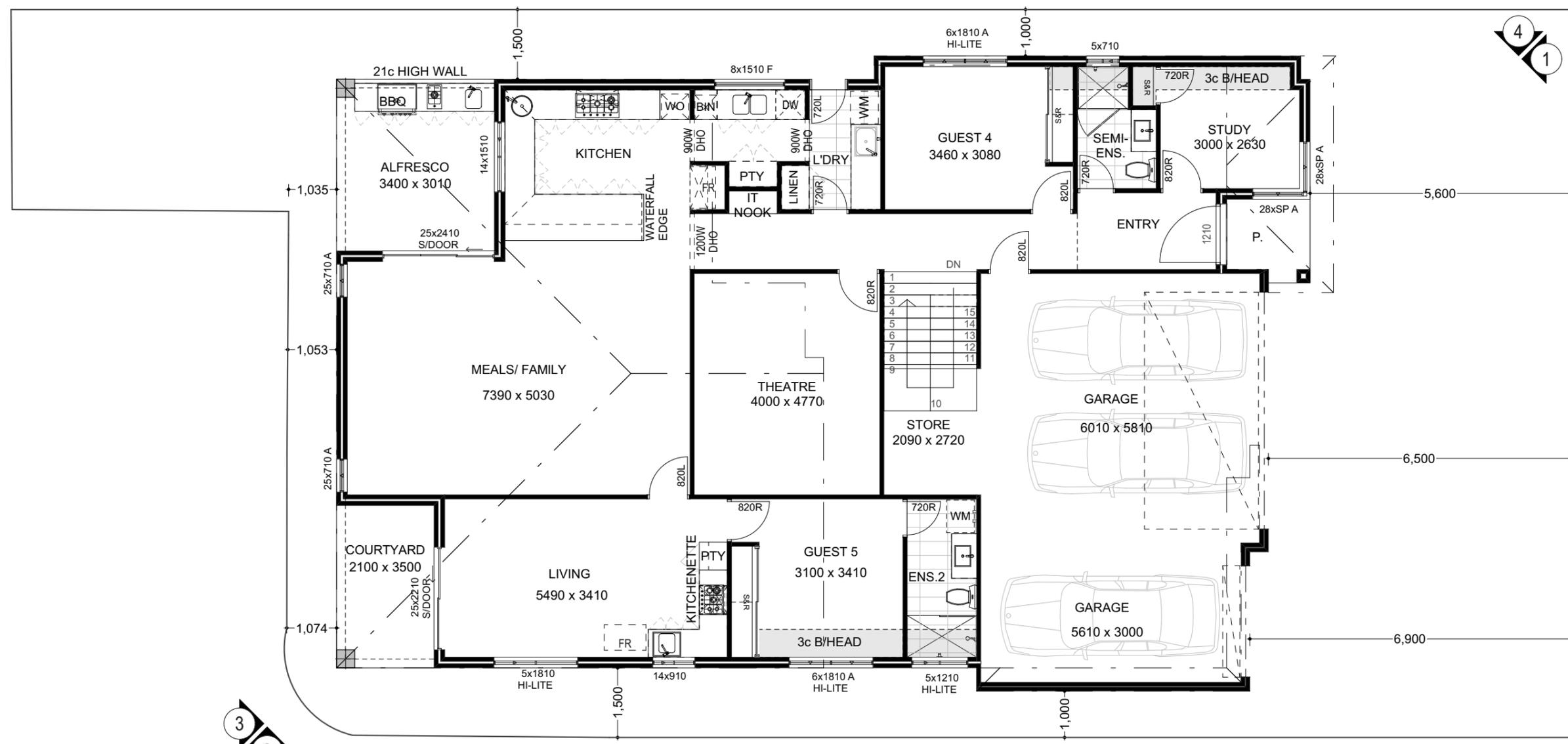
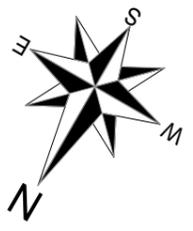
GPS Lat: -32.018497 Long: 115.84532
LOT Survey Strata Lot 1 (SP 10876)
AREA 459m² **VOL.** 1626 **FOL.** 131
DATE 12 Aug 25 **SSA** No

ROADS Bitumen
KERBS Flush / Non-Mount
FOOTPATH Nil
SOIL Sand
DRAINAGE Good
VEGETATION Refer to Survey

ELEC. U/Ground
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes (TBA)
COASTAL 500m To River (Approximate Only confirm With Shire)

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BUILDING AREA	
GROUND FLOOR	180.49
UPPER FLOOR	136.10
GARAGE	61.96
ALFRESCO	12.58
PORTICO	3.17
TOTAL	394.30 m²
SITE AREA	459.00 m²
SITE COVER	52.83%

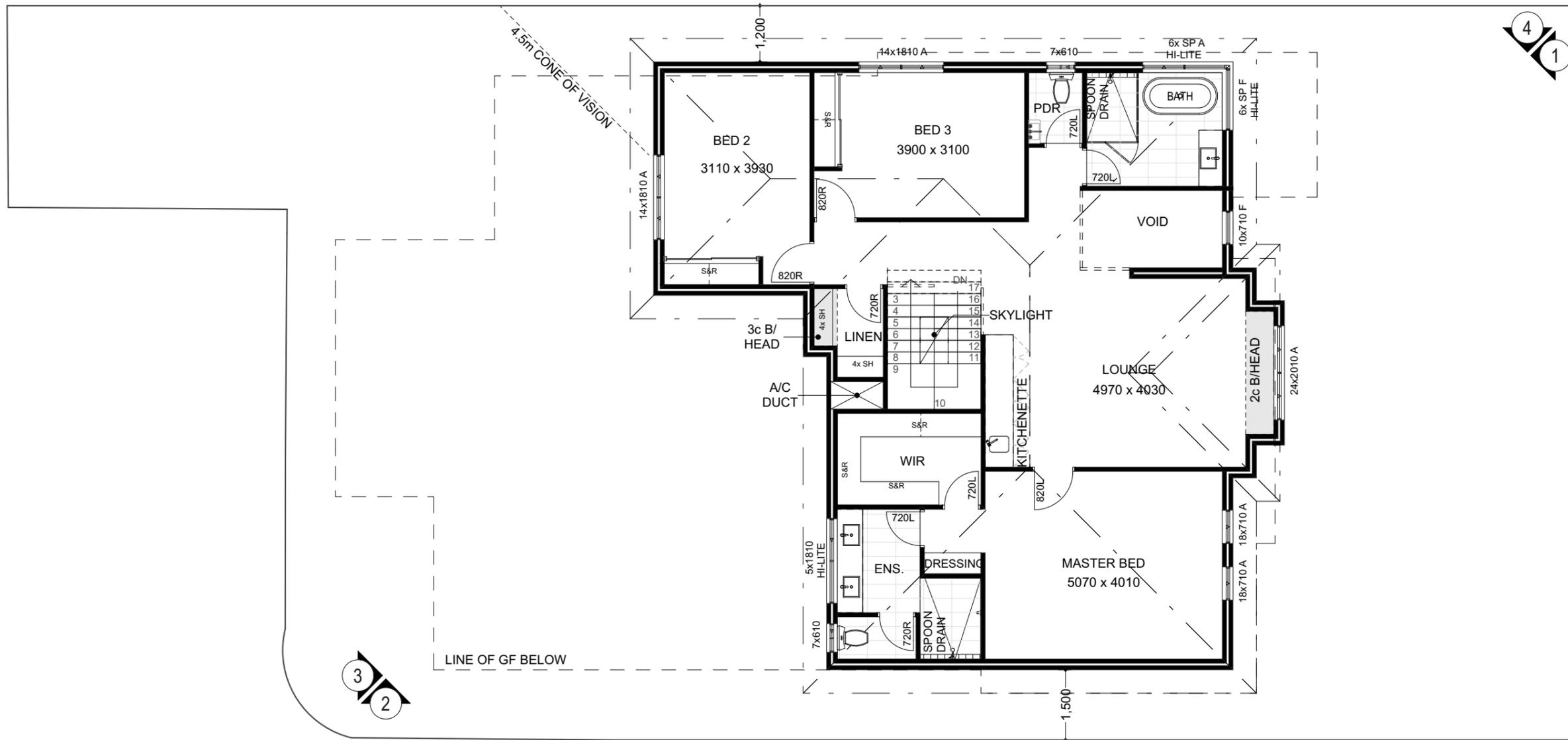
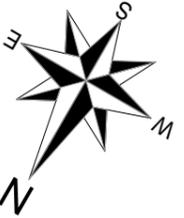


GROUND FLOOR PLAN
1:100

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No	DATE	AMENDMENTS	DWG	JOB NO: 9769	PROPOSED TWO STOREY DWELLING
				TITLE: GROUND FLOOR PLAN	ADDRESS: 56A REYNOLDS RD MOUNT PLEASANT
				DATE: 10/12/2025	
				DRAWN: PS	
				SCALE: 1:100	
				PRINTED DATE:	
				WD1 of 5	

BUILDING AREA	
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UPPER FLOOR PLAN
1:100

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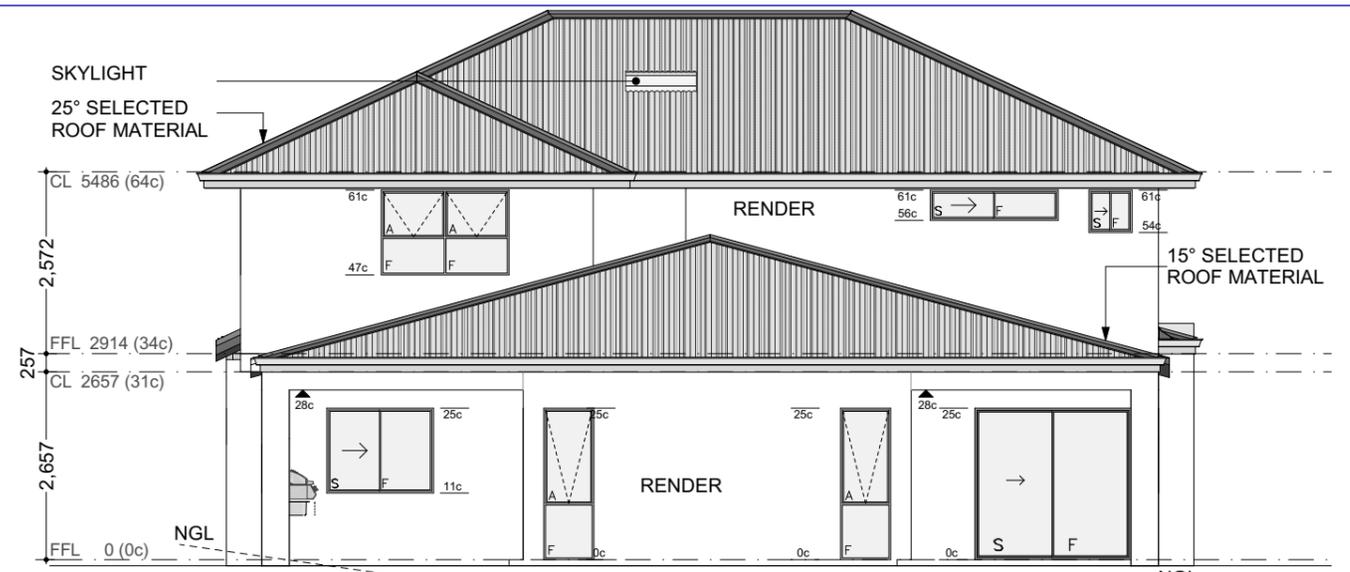
JOB NO: 9769
TITLE: UPPER FLOOR PLAN
DATE: 10/12/2025
DRAWN: PS
SCALE: 1:100
PRINTED DATE:
WD2 of 5

PROPOSED TWO STOREY DWELLING
ADDRESS: 56A REYNOLDS RD
MOUNT PLEASANT



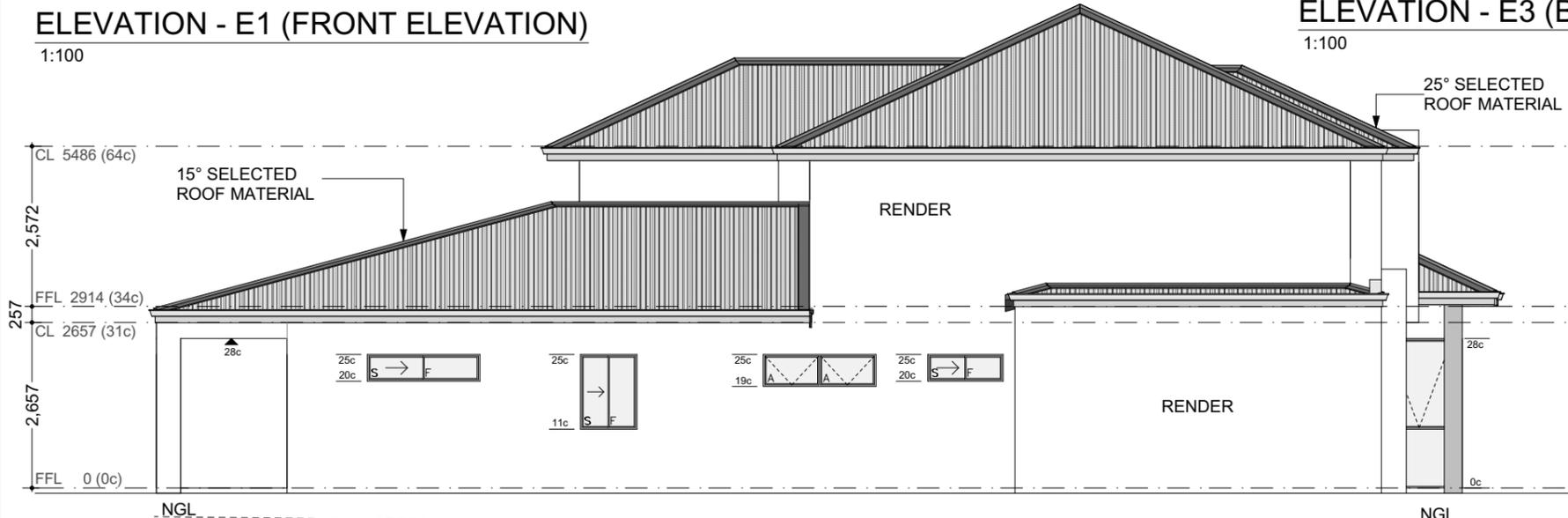
ELEVATION - E1 (FRONT ELEVATION)

1:100



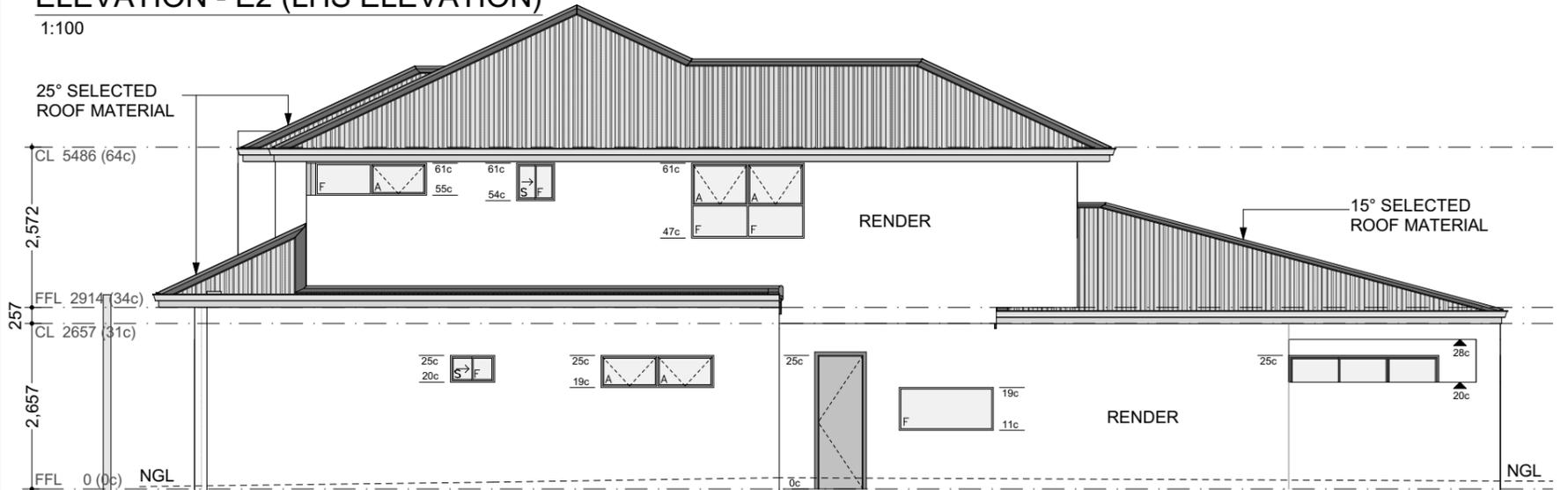
ELEVATION - E3 (BACK ELEVATION)

1:100



ELEVATION - E2 (LHS ELEVATION)

1:100



ELEVATION - E4 (RHS ELEVATION)

1:100



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