

▲ NOTE:  
TELSTRA/COMMS. PIT NOT LOCATED  
ADJACENT TO LOT AT TIME OF SURVEY.  
VERIFY AVAILABILITY WITH TELSTRA

**PLANNING APPROVAL ONLY  
THIS IS NOT A  
BUILDING PERMIT**

☉	POWER DOME
⚡	POWER POLE
☎	PHONE PITS
⊕	WATER CONN.
⊖	TW=10.00 TOP WALL
⊖	TR=10.00 TOP RETAINING
⊖	TF=10.00 TOP FENCE



**SITE COVERAGE - PART C**

ZONED	R40
% ALLOWED	65%
SITE AREA	196.76m <sup>2</sup>
SITE COVER	128.88m <sup>2</sup>

**SITE COV. = 65.5%**

No.	Soak Well Type
2.0 m3	2 SW 1200x900
2.0 m3	Total Capacity
130.5 m2	Roof Area GF
28.0 m2	Paved Area
158.5 m2	Total Area
2.0 m3	Capacity Required (Area x 0.0125)
0.1 m3	Extra Capacity Provided

NOTE: ALL DOWNPIPES  
CONNECTED TO SOAKWELLS  
WITH PVC STORMWATER PIPE

INSTALLATION OF NEW  
FENCING & REMOVAL OF  
EXISTING FENCING BY  
OTHERS

**LOT MISCLOSE**  
0.000 m

**CP4 MISCLOSE**  
0.001 m

**WARNING:** strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



87-89 Guthrie Street  
Osborne Park, WA 6017  
PO Box 1611  
Osborne Park  
Business Centre WA 6917  
P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

**JOB #** 617212  
**CLIENT** Kyle Thomas Bowman  
**ADDRESS** #20 Harfoot Street  
**SUBURB** Willagee  
**LGA** CITY OF MELVILLE  
**DRAWN** S. Nguyen

**GPS** Lat: -32.051697 Long: 115.80089  
**ORDER #** 2507-001F  
**LOT** Survey Strata Lot 3 (SP 89845 - Unlodged)  
**AREA** 197m<sup>2</sup>  
**DATE** 05 Aug 25  
**SSA No**

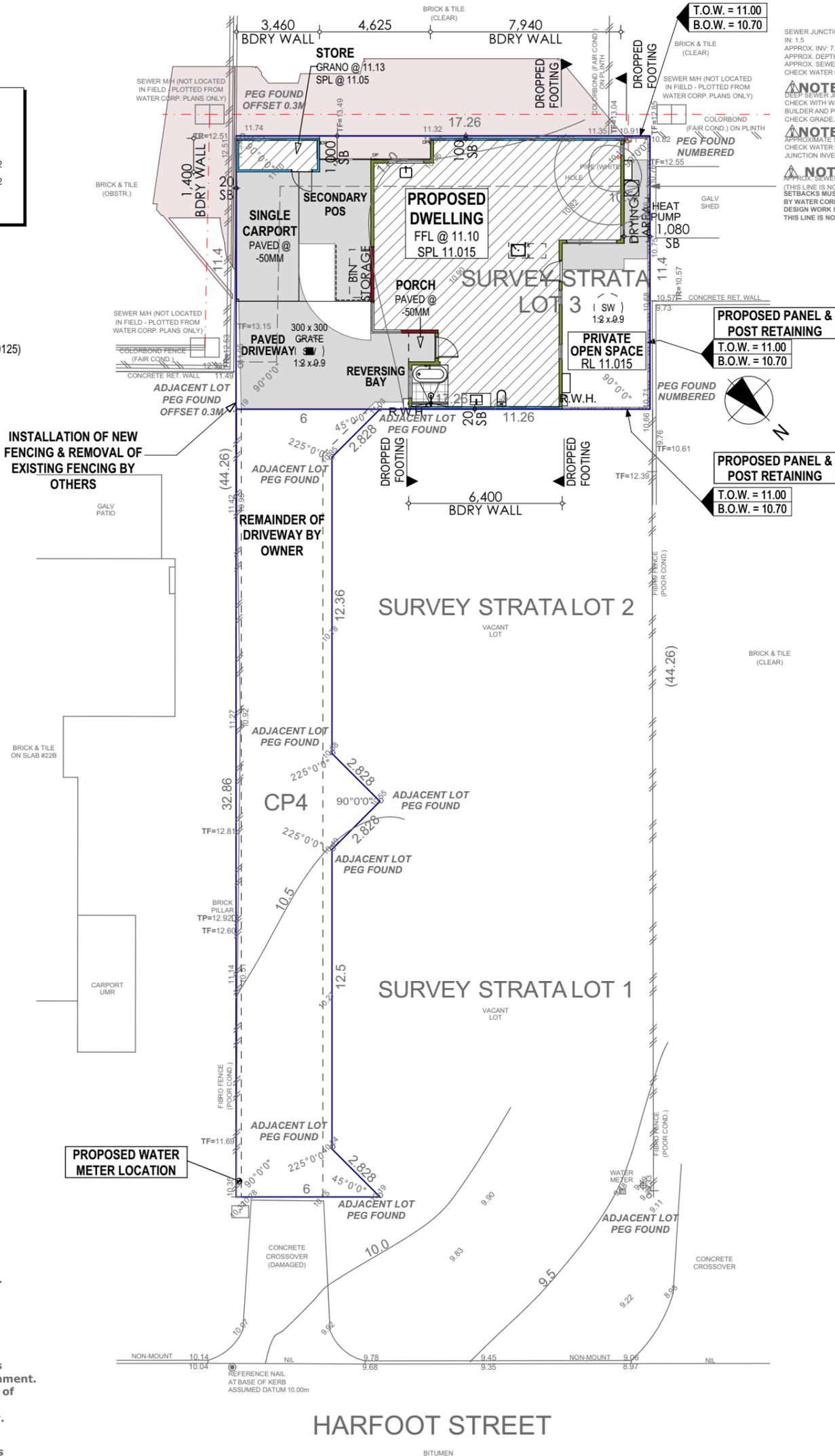
**ROADS** Bitumen  
**KERBS** Non-Mount / Nil  
**FOOTPATH** Nil  
**SOIL** Sand  
**DRAINAGE** Good  
**VEGETATION** Light Grass Cover

**ELEC.** U/Ground  
**COMMS.** Not loc.  
**WATER** Yes  
**GAS** Check Alinta  
**SEWER** Yes  
**COASTAL** No

(Approximate Only  
Confirm With Shire)

**OVERSHADOW DIAGRAM -  
21 JUNE (MIDDAY)**  
OVERSHADOW ON SW REAR LOT 19  
7.36% (50.92m<sup>2</sup> ON A 691m<sup>2</sup> SITE)  
OVERSHADOW ON SE REAR LOT 21-25  
0.71% (20.12m<sup>2</sup> ON A 2801m<sup>2</sup> SITE)

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PROPOSED WATER  
METER LOCATION

**SITE PLAN**  
1:200

**PROPOSED PANEL &  
POST RETAINING**

T.O.W. = 11.00  
B.O.W. = 10.70

SEWER JUNCTION  
IN: 1.5  
APPROX. INV: 7.7  
APPROX. DEPTH: 2.4  
APPROX. SEWER ONLY  
CHECK WATER CORP.

▲ NOTE:  
DEEP SEWER JUNCTION.  
CHECK WITH WATER CORP.  
BUILDER AND PLUMBER  
CHECK GRADE.

▲ NOTE:  
APPROXIMATE SEWER ONLY  
CHECK WATER CORPORATION FOR  
JUNCTION INVERT AND DEPTH

▲ NOTE:  
APPROX. SEWER CLEARANCE LINE  
(THIS LINE IS NOT AN EASEMENT)  
SETBACKS MUST BE CONFIRMED  
BY WATER CORP. BEFORE ANY  
DESIGN WORK IS UNDERTAKEN.  
THIS LINE IS NOT DEFINITIVE.

**PROPOSED PANEL &  
POST RETAINING**

T.O.W. = 11.00  
B.O.W. = 10.70

**PROPOSED PANEL &  
POST RETAINING**

T.O.W. = 11.00  
B.O.W. = 10.70

**APPLICANTS COPY**

▲ NOTE:  
FINAL PEGGING YET  
TO BE COMPLETED  
BY DEVELOPER

Scale 1:200



▲ NOTE: Angles and dimensions to be verified with titles office plan when issued.  
▲ WARNING: Plan not yet approved by titles office. Verify lot dimensions & angles with title.

**NOTES**

• 2.7m HIGH CEILINGS THROUGHOUT, UNLESS NOTED OTHERWISE (UNO)

**WALLS LEGEND**

- 135mm SIP WALL
- 139mm SIP WALL
- 90mm STEEL FRAMED WALL

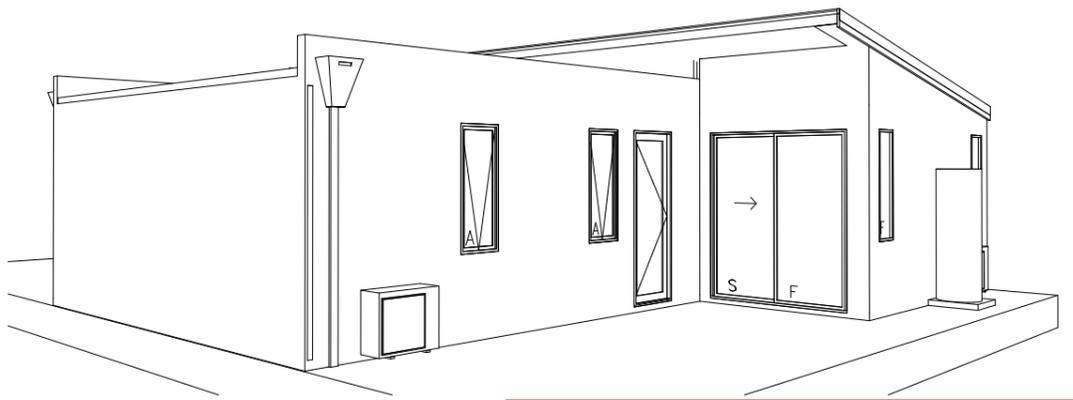
**PLANNING NOTE**

• DESIGN SUBJECT TO CHANGE PENDING COUNCIL PLANNING APPROVAL

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**PROPOSED AREAS**

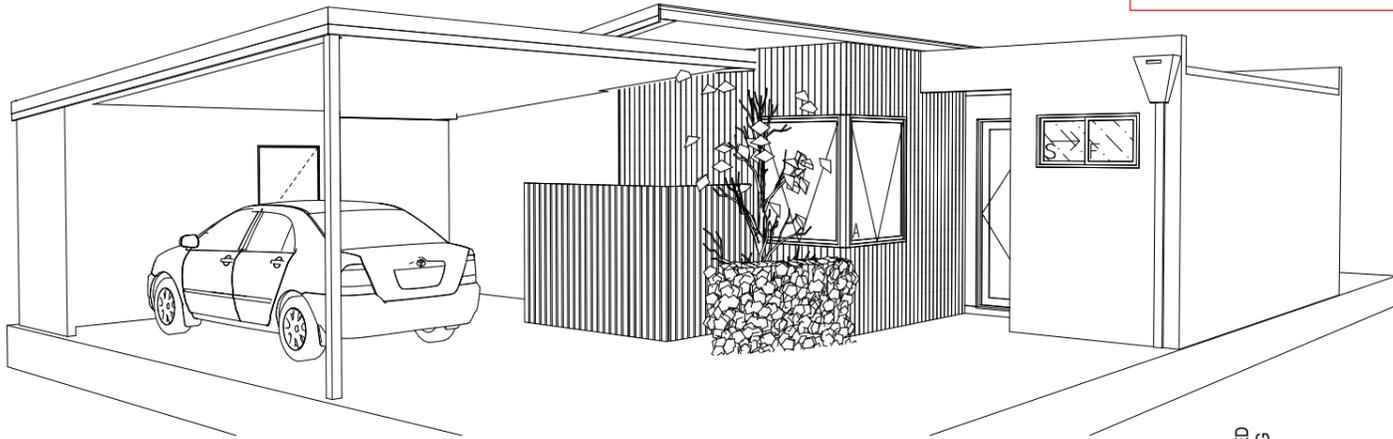
	Area (sqm.)
1 - GROUND FLOOR	92.76
2 - CARPORT	14.04
3 - STORE	4.84
4 - PORCH	1.16
5 - SERVICES & POS	16.20
<b>TOTAL</b>	<b>129.00 m<sup>2</sup></b>



REAR ELEVATION

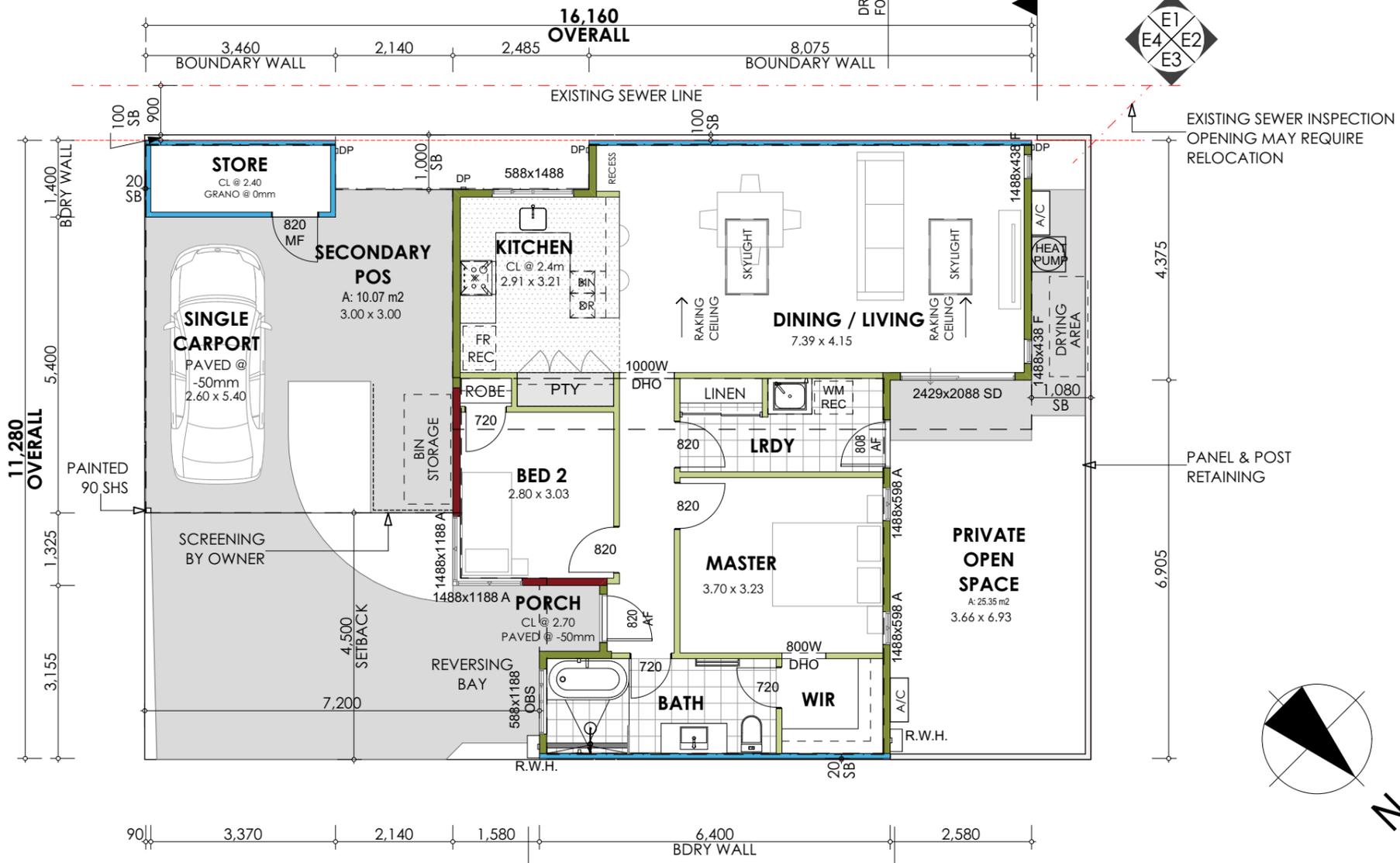
1:250

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FRONT FACADE

1:200



**SITE COVERAGE - PART C**

ZONED	R40
% ALLOWED	65%
SITE AREA	196.76m <sup>2</sup>
SITE COVER	128.88m <sup>2</sup>
<b>SITE COV. = 65.5%</b>	

**NOTE:**

- PROPOSED HOUSE MAY REQUIRE PILING, TO BE DETERMINED BY ENGINEERS
- SEWER INSPECTION OPENING MAY REQUIRE RELOCATION, TO BE CONFIRMED BY WATER CORPORATION BUILDING SERVICES

**APPLICANTS COPY**

FLOOR PLAN

1:100

**FORM HOMES**

w: formhomes.com.au  
p: (08)9468 0023  
e: hello@formhomes.com.au

TRANSMITTALS	description	date	by
CONTRACTS		02/10/25	LR
PLANNING		21/10/25	LR
PLANNING		18/11/25	LR

GENERAL NOTES	
r code	R40 PART C
council	Co MELVILLE
planning	YES
developer	N/A
BAL	NO
coastal	NO
noise mgt	NO

CLIENT INFORMATION  
**BOWMAN & KING**  
client  
**LOT 3 (#20) HARFOOT STREET, WILLAGEE**  
site address

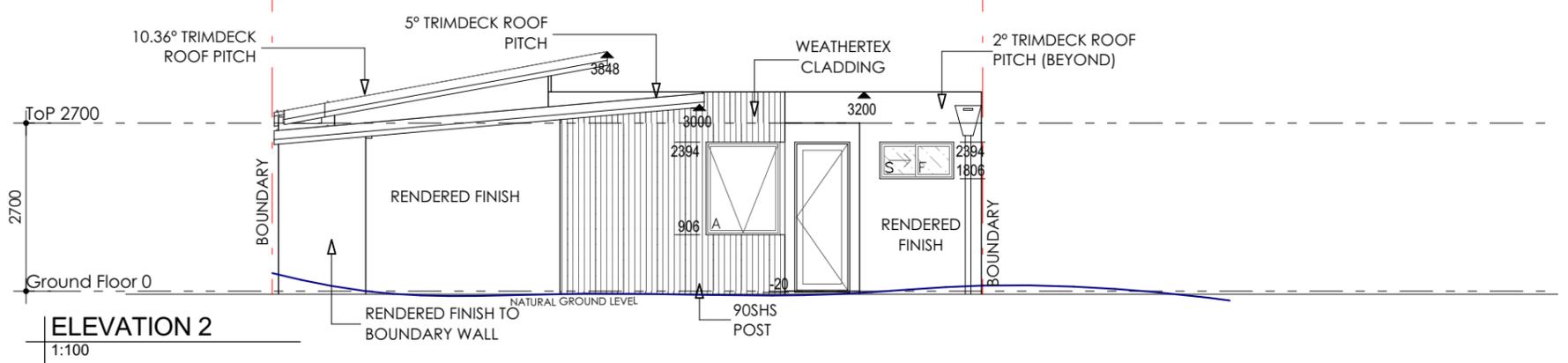
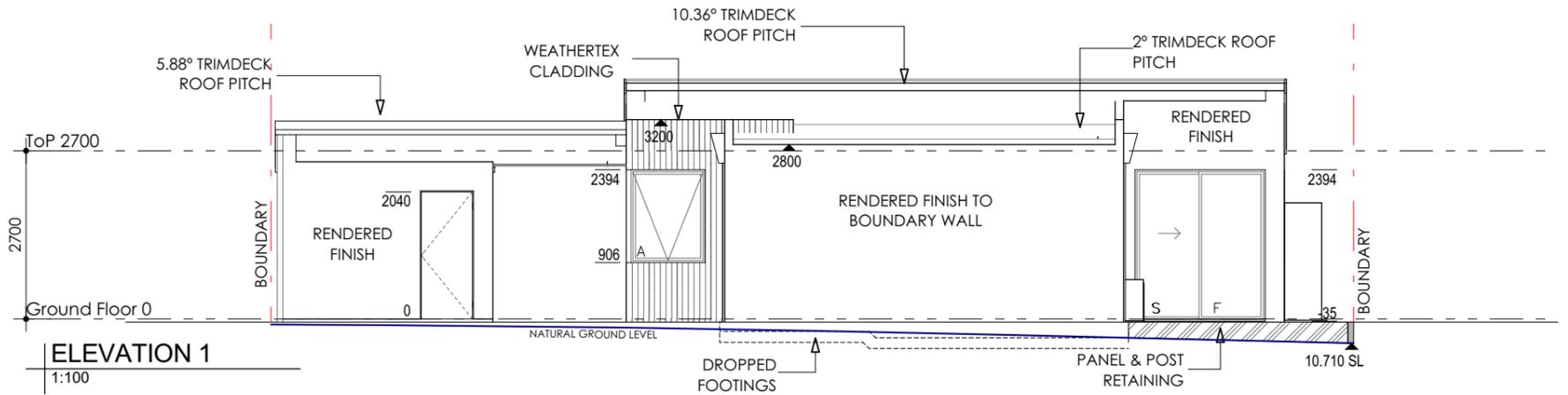
CUSTOM house model

APPROVAL BLOCK  
client signature \_\_\_\_\_  
date \_\_\_\_\_  
client signature \_\_\_\_\_  
date \_\_\_\_\_  
builder signature \_\_\_\_\_  
date \_\_\_\_\_

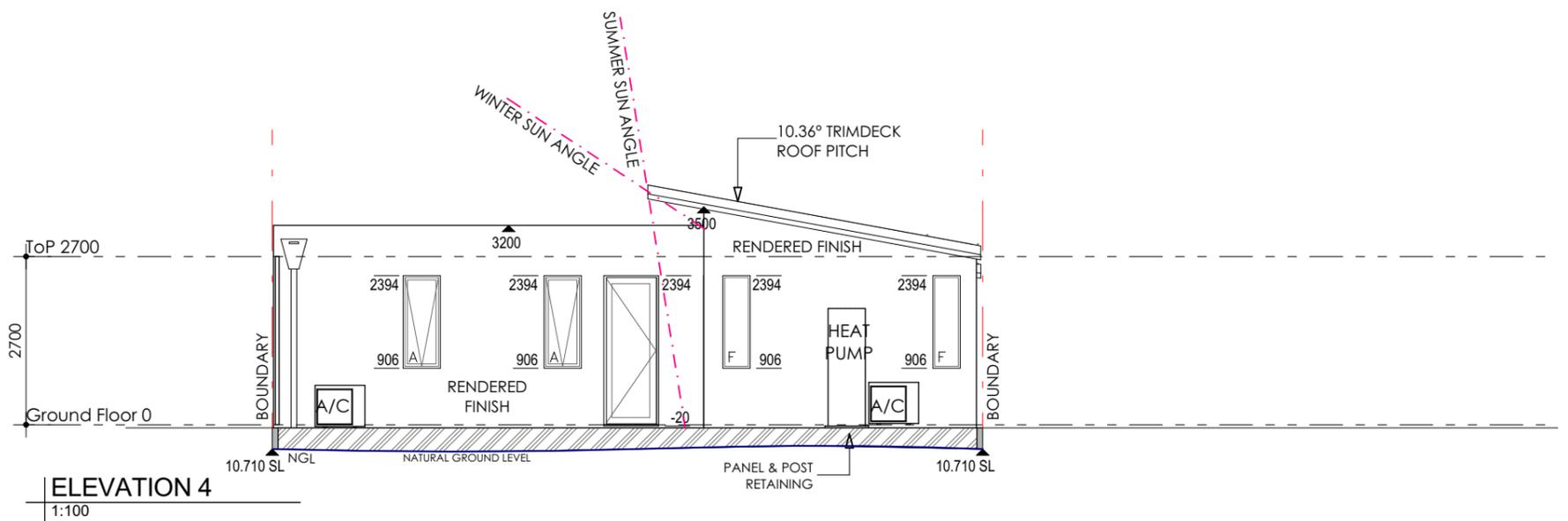
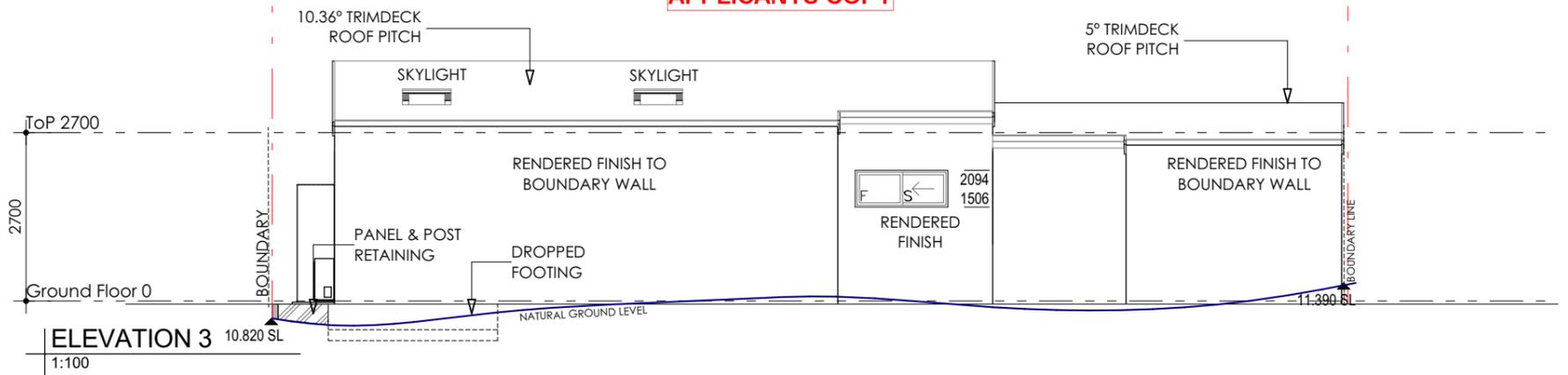
PROJECT INFORMATION  
**A301 PL-03**  
drawing number revision  
**J1110**  
project number  
**CONCEPT SKETCH**  
project stage  
**FLOOR PLAN**  
published 25/11/25 page size **A3**

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APPLICANTS COPY



**FORM**  
HOMES

TRANSMITTALS  
description CONTRACTS  
PLANNING  
PLANNING  
date 02/10/25  
21/10/25  
18/11/25  
by LR  
LR  
LR

GENERAL NOTES  
rcode R40 PART C  
council Co MELVILLE  
planning YES  
developer N/A  
BAL NO  
coastal NO  
noise mgt NO

CLIENT INFORMATION  
**BOWMAN & KING**  
client  
**LOT 3 (#20) HARFOOT STREET, WILLAGEE**  
site address

CUSTOM  
house model

APPROVAL BLOCK  
client signature \_\_\_\_\_  
date \_\_\_\_\_  
client signature \_\_\_\_\_  
date \_\_\_\_\_  
builder signature \_\_\_\_\_  
date \_\_\_\_\_

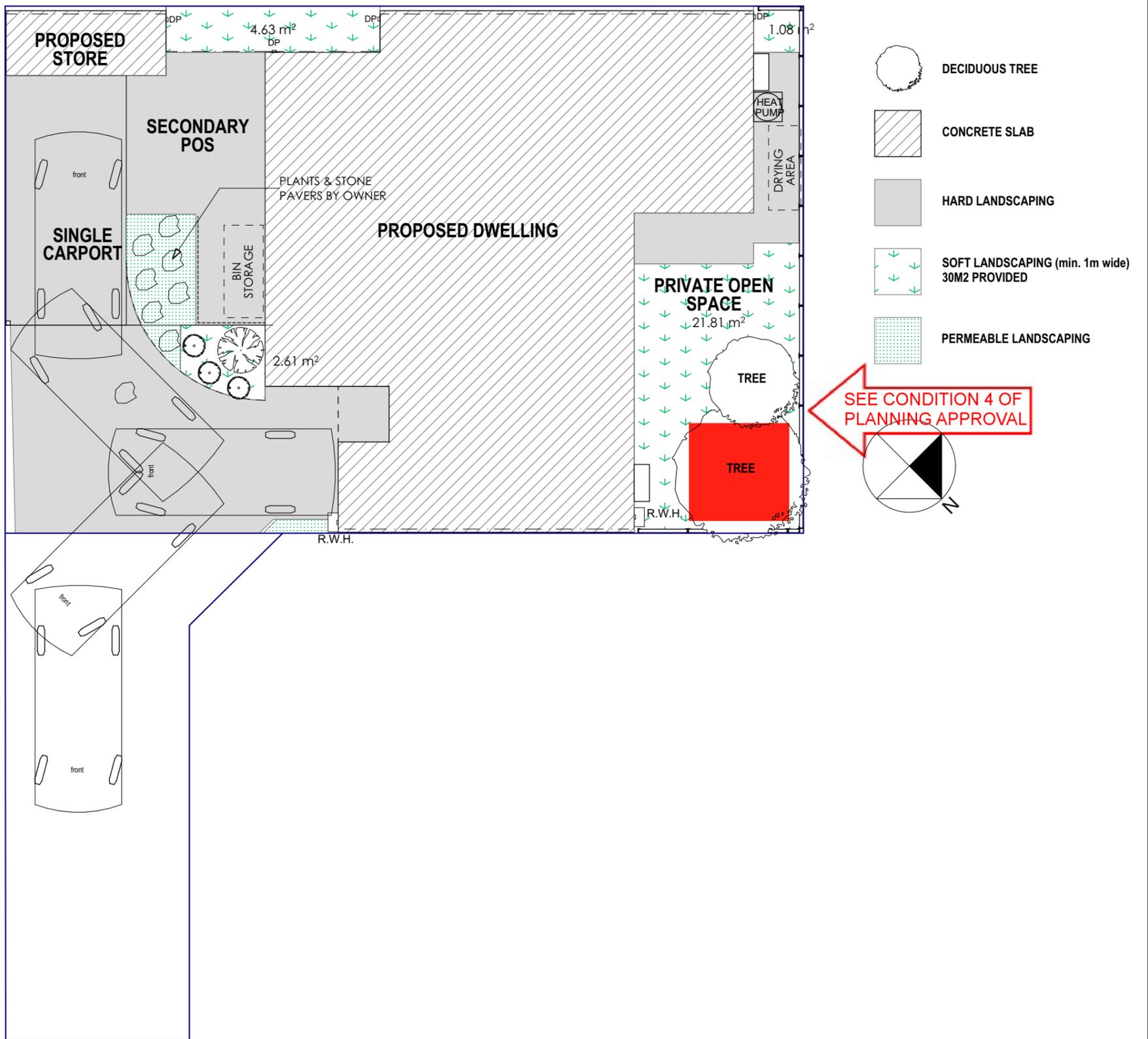
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**A401 PL-03**  
drawing number revision  
**J1110**  
project number  
CONCEPT SKETCH  
project stage  
ELEVATIONS  
published 25/11/25 page size **A3**

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APPLICANTS COPY



LANDSCAPING & VEHICLE ACCESS PLAN

1:100

**FORM HOMES**

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TRANSMITTALS	description	date	by
CONTRACTS		02/10/25	LR
PLANNING		21/10/25	LR
PLANNING		18/11/25	LR

GENERAL NOTES	
r code	R40 PART C
council	Co MELVILLE
planning	YES
developer	N/A
BAL	NO
coastal	NO
noise mgt	NO

CLIENT INFORMATION  
**BOWMAN & KING**  
client  
**LOT 3 (#20) HARFOOT STREET, WILLAGEE**  
site address

CUSTOM house model

APPROVAL BLOCK  
client signature \_\_\_\_\_  
date \_\_\_\_\_  
client signature \_\_\_\_\_  
date \_\_\_\_\_  
builder signature \_\_\_\_\_  
date \_\_\_\_\_

PROJECT INFORMATION  
**A104 PL-03**  
drawing number revision  
**J1110**  
project number  
**CONCEPT SKETCH**  
project stage  
**LANDSCAPING PLAN**  
published 25/11/25 page size **A3**